

CHARITY'S HOUSE

SITE DEVELOPMENT PLAN

PART OF THE SOUTHWEST 1/4 OF SECTION 26, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH P.M.

CITY AND COUNTY OF DENVER, STATE OF COLORADO

3022 WELTON STREET, DENVER, CO 80205

LEGAL DESCRIPTION

LOT 4, BLOCK 75, CASE AND EBERTS ADDITION AND THE OUTLOT ADJOINING A B CASES ADDITION, LOT 5, BLOCK 75, CASE AND EBERTS ADDITION AND THE NORTHWESTERLY HALF OF THE VACATED ALLEY ADJOINING AND PART OF THE SIDE LOT ADJOINING IN A B CASES ADDITION, LOT 6 AND THE NORTHWESTERLY HALF OF THE VACATED ALLEY ADJOINING, BLOCK 75, CASE AND EBERTS ADDITION, CITY AND COUNTY OF DENVER, STATE OF COLORADO
COMBINED AREA: 9,660 SQUARE FEET OR 0.221 ACRES +/-

DENVER GREEN BUILDING ORDINANCE

THIS PROJECT WILL BE FULLY CERTIFIED UNDER ENTERPRISE GREEN COMMUNITIES AS A COMPLIANCE PATH AS REGULATED BY SECTION 4.05 OF THE BUILDING CERTIFICATION OF THE RULES AND REGULATIONS.

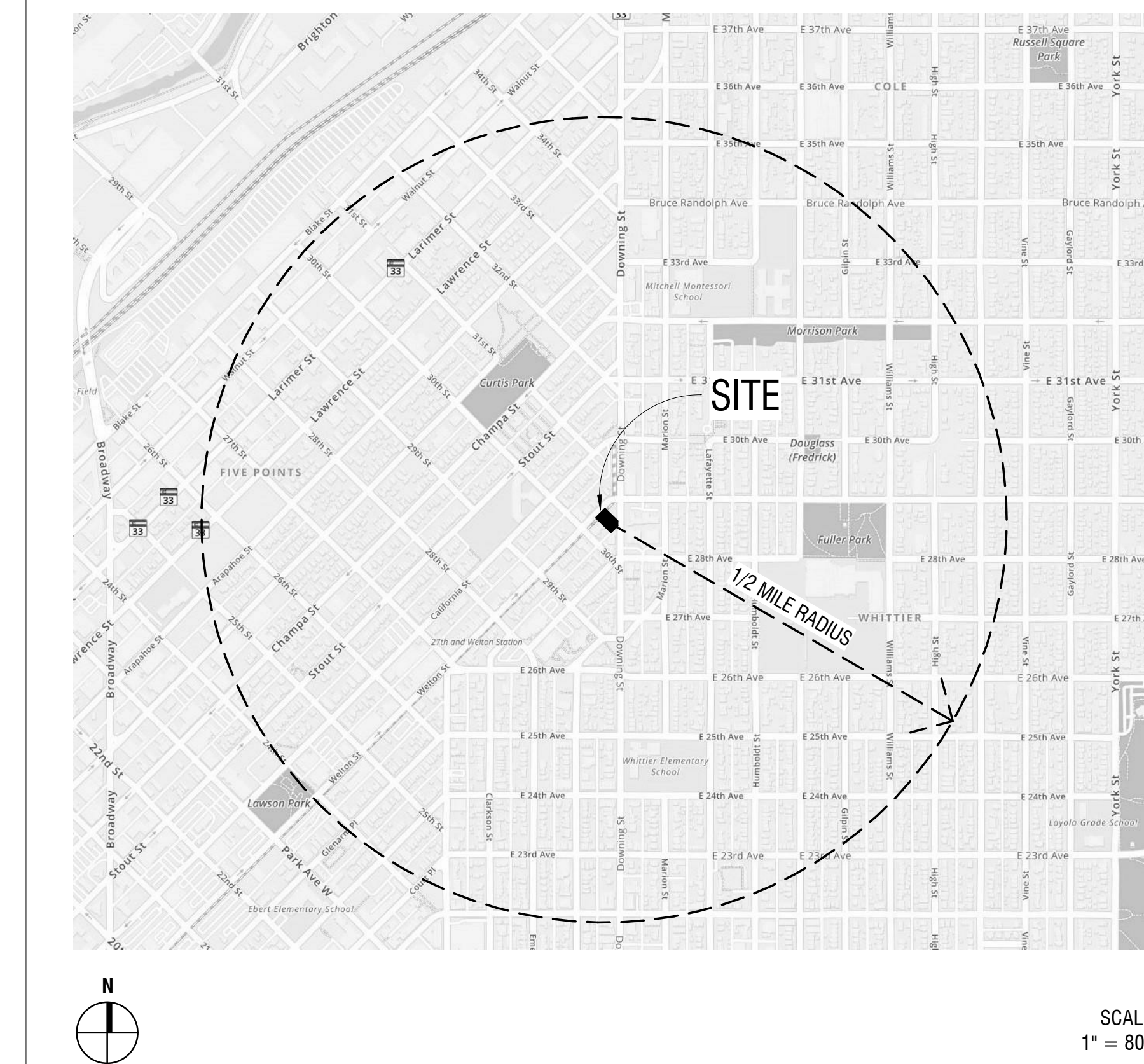
STATISTICAL INFORMATION

ZONE DISTRICT		C-MX-5	
GENERAL ZONE LOT INFORMATION			
GENERAL ZONE LOT INFORMATION	SQ. FT.	ACRES	
ZONE LOT SIZE (GROSS PROJECT AREA)	9,660 GSF	.22 ACRES	
AREA TO BE DEEDED FOR ADDITIONAL RIGHT OF WAY	N/A	N/A	
NET PROJECT AREA (AFTER DEEDING OF ANY NEEDED PUBLIC RIGHT OF WAY)	N/A	N/A	
PRIMARY AND SIDE STREET DESIGNATIONS		PRIMARY ST = WELTON ST., DOWNING ST. (SIDE ST. N/A)	
PROPOSED USES		DWELLING, MULTI-UNIT	
NUMBER OF DWELLING UNITS (RESIDENTIAL ONLY)		36 UNITS	
GROSS FLOOR AREA FOR EACH USE (FOR NON RESIDENTIAL AND MIXED USE PROJECTS)		31,025 GSF	
BUILDING FORM USED		GENERAL	
DESIGN ELEMENTS		REQUIRED	PROVIDED
BUILDING HEIGHT, STORIES (MIN, MAX)	5 STORIES	4 STORIES	
BUILDING HEIGHT, FEET (MIN, MAX)	70' MAX.	65.3'	
BUILD-TO			
PRIMARY STREET TOTAL BUILD-TO (MIN % WITHIN MIN/MAX) REFER TO SHEET 3 (WELTON ST.) ZONE LOT WIDTH = 75'	70% (0' / 10') 53' OF 75' REQ.	66.8' OF 75' (89%)	
PRIMARY STREET TOTAL BUILD-TO (MIN % WITHIN MIN/MAX) REFER TO SHEET 3 (DOWNING ST.) ZONE LOT WIDTH = 36.68' - FRONTAGE EXCLUDES VACATED ALLEY; ACCESS EASEMENT = 25.3'	70% (0' / 10') 18' OF 25.3' REQ.	25.3' OF 25.3' (100%)	
OVERALL BUILDINGS OR STRUCTURE LENGTH (MAX)	N/A	N/A	
SETBACKS		REQUIRED	PROVIDED
PRIMARY STREET (MIN/MAX)	0'	0' (WELT.) / 0' (DWNG.)	
SIDE STREET (MIN/MAX)	0'	N/A	
SIDE INTERIOR (MIN/MAX)	0'	NE @ 3'-0"/5'-0" SW @ 3'-0"/5'-0"	
REAR (MIN/MAX)	0'	0'	
UPPER STORY REAR SETBACK (ABOVE 27 FT. MIN) - ADJ. TO PD	N/A	N/A	
UPPER STORY REAR SETBACK (ABOVE 51 FT. MIN) - ADJ. TO PD	N/A	N/A	
PARKING		REQUIRED	PROVIDED
STANDARD SPACES	.75 / UNIT = 27	4	
COMPACT SPACES (10% MAX = 36 X 10)	0	0	
ACCESSIBLE (2% = 27 X 02)	1	1	
LOADING SPACES	1	1	
TOTAL	27	5	
BICYCLE 1 PER 2 UNITS (80% ENCLOSED / 20% FIXED)	(15 / 4)	(15 / 4)	
GROUND STORY ACTIVATION (TRANSPARENCY)		REQUIRED	PROVIDED
TOTAL TRANSPARENCY PRIMARY STREET - WELTON ST.(%) (REFER TO SHEET 8 OF 10 FOR ANALYSES)	RESIDENTIAL BLDG: 40%	52%	
TOTAL TRANSPARENCY SIDE STREET - DOWNING ST.(%) (REFER TO SHEETS 8 OF 10 FOR ANALYSES)	RESIDENTIAL BLDG: 40%	47%	

SHEET INDEX

SHEET 1	COVER SHEET
SHEET 2	LAND TITLE SURVEY
SHEET 3	SITE PLAN
SHEET 4	ARCHITECTURAL FLOOR PLANS
SHEET 5	UTILITY PLAN
SHEET 6	GRADING PLAN
SHEET 7	LANDSCAPE PLAN
SHEET 8	ARCHITECTURAL BUILDING ELEVATIONS
SHEET 9	SITE PHOTOMETRIC PLAN
SHEET 10	SITE PHOTOMETRIC DETAILS

VICINITY MAP



OWNER'S SIGNATURE

I (We) the undersigned, shall comply with all regulations contained in Denver Zoning Code. The following signatures constitute all owners and holders of deeds of trust for land and structures included in this plan: **CHARITY'S HOUSE**

BY _____ DATE _____
EDDIE H. WOLFORK, OWNER

BY _____ DATE _____
ROBERT WOLFORK, OWNER

State of Colorado
City and County of Denver

The foregoing instrument was acknowledged before me this _____ day of _____ AD 20____ by _____

Witness my hand and official seal

My commission expires _____

Notary Public _____

Address _____

SURVEYORS SIGNATURE

I, Jeffrey J. Mackenna, a Registered Land Surveyor in the State of Colorado, do hereby certify that the survey for Charity House was made under my supervision and the accompanying plan accurately and properly shows said survey.

JEFFREY J. MCKENNA _____ PLS# _____

APPROVALS

Approved By _____ Date _____
For the Zoning Administrator

Approved By _____ Date _____
For the Manager of Community Planning and Development

CLERK & RECORDER'S CERTIFICATION

State of Colorado _____ JSS.

City and County of Denver

I hereby certify that this instrument was filed for record in my office at _____ o'clock _____ m., _____ 20____ and duly recorded under Reception # _____.

Clerk and Recorder, Ex-Officio Clerk of the City and County of Denver

By _____ Deputy

Fee _____

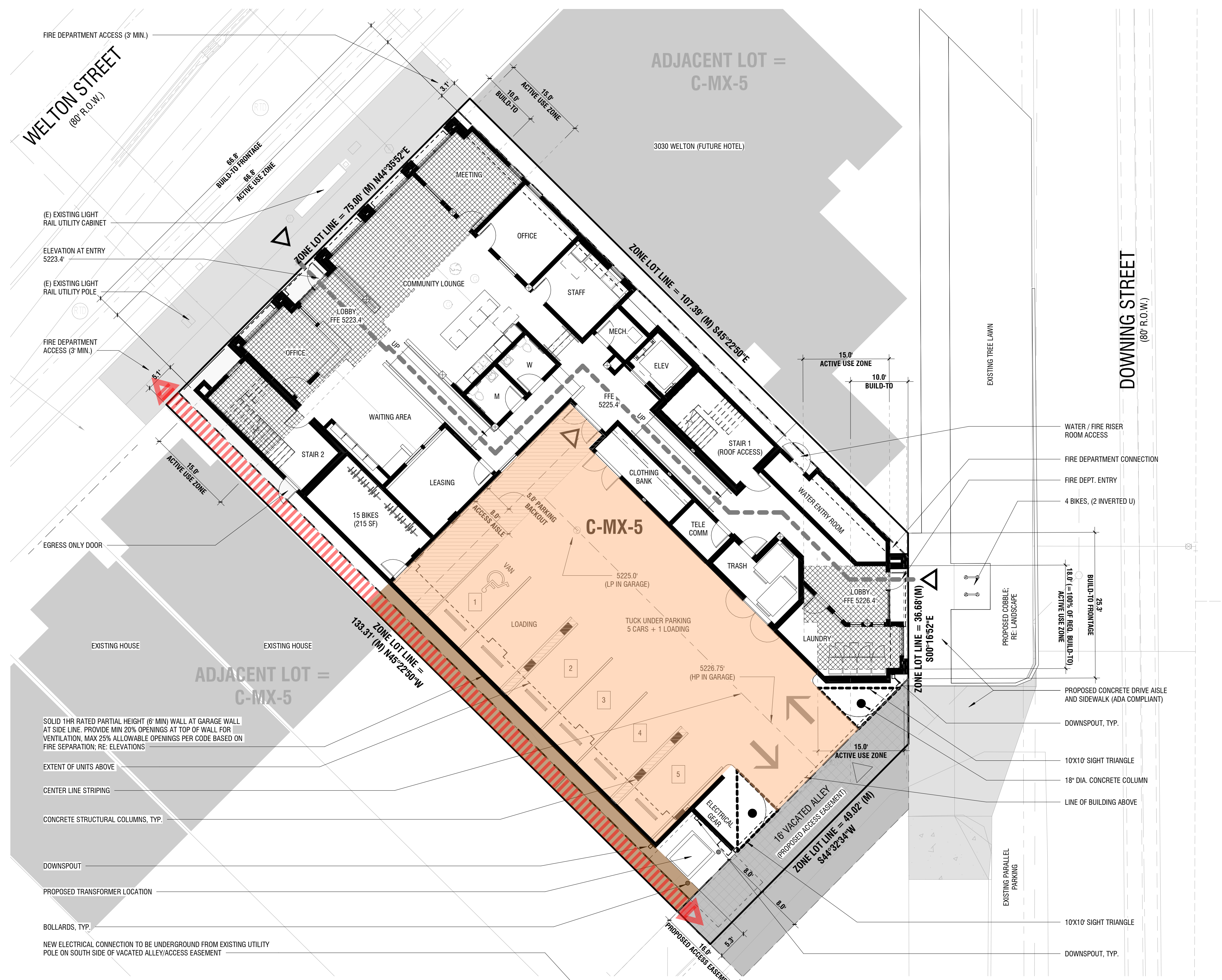
GENERAL NOTES

- THIS SDD/PROJECT WAS REVIEWED AND APPROVED UNDER THE DENVER ZONING CODE AS ADOPTED ON JUNE 25TH, 2010; RESTATED IN ITS ENTIRETY ON MAY 24TH, 2018; AS AMENDED THROUGH OCTOBER 19, 2019.
- FENCES, WALLS, SIGNS, AND ACCESSORY STRUCTURES ARE SUBJECT TO SEPARATE REVIEWS AND PERMITS.
- ANGLES SHOWN ARE EITHER 90 DEGREES OR A SUPPLEMENT OF THE ANGLE INDICATED.
- PRIVATE ROADWAYS WILL BE POSTED WITH "FIRE LANE" SIGNS AS REQUIRED BY THE DENVER FIRE DEPARTMENT.
- PARKING SPACES FOR PERSONS WITH DISABILITIES WILL BE CLEARLY DELINEATED WITH UPRIGHT SIGNS.
- APPROVAL FOR THIS PLAN DOES NOT CONSTITUTE OR IMPLY COMPLIANCE WITH ADA REQUIREMENTS.
- SITE(S) SHALL BE LANDSCAPED PRIOR TO ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY (CO) DURING THE GROWING SEASON OF APRIL 1ST TO OCTOBER 1ST, AT ALL OTHER TIMES THE INDIVIDUAL SITE SHALL BE LANDSCAPED WITHIN 45 (FORTY-FIVE) DAYS OF THE START OF THE FOLLOWING GROWING SEASON.
- AN ACCESS EASEMENT FOR EMERGENCY SERVICES IS HEREBY GRANTED ON AND ACROSS ALL AREAS FOR POLICE, FIRE, MEDICAL, AND OTHER EMERGENCY VEHICLES AND FOR THE PROVISION OF EMERGENCY SERVICES.
- ALL LANDSCAPED AREAS SHALL BE IRRIGATED WITH UNDERGROUND AUTOMATIC IRRIGATION SYSTEM. TREES, SHRUBS, AND DECORATIVE GRASS WILL BE IRRIGATED BY A SEPARATE ZONE FROM SDD/GRASS; THIS INCLUDES TREES PLANTED IN SDD/GRASS AREAS. THE IRRIGATION SYSTEM IS TO HAVE A RAIN SENSOR SHUTOFF INSTALLED.
- PRIVATE ROADWAYS ARE NON-DEDICATED STREETS AND WILL NOT BE MAINTAINED BY THE CITY AND COUNTY OF DENVER
- RESPONSIBILITY FOR THE MAINTENANCE OF THE COMMONLY OWNED LAND AND STORM WATER DETENTION FACILITY CONSTRUCTED AS PART OF THIS DEVELOPMENT WILL BE THAT OF THE HOME OWNERS ASSOCIATION / PROPERTY OWNER(S) OF PARCEL(S) 3022 WELTON ST.

CHARITY'S HOUSE

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PART OF THE SOUTHWEST 1/4 OF SECTION 26, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH P.M.
CITY AND COUNTY OF DENVER, STATE OF COLORADO
3022 WELTON STREET, DENVER, CO 80205



PRIMARY STREET = WELTON ST.	REQUIRED	PROVIDED
ZONE LOT STREET FRONTAGE LENGTH		75'
TOTAL BUILDING LENGTH		66.8'
BUILDING LENGTH BETWEEN 0' & 10'	56.25'	66.8'
TOTAL BUILD-TO PERCENTAGE	70% MIN.	89%

PRIMARY STREET = DOWNING ST.	REQUIRED	PROVIDED
ZONE LOT STREET FRONTAGE LENGTH (EXCLUDING VACATED ALLEY/PROPOSED ACCESS EASEMENT)		25.3'
TOTAL BUILDING LENGTH		25.3'
BUILDING LENGTH BETWEEN 0' & 10'	18'	25.3'
TOTAL BUILD-TO PERCENTAGE	70% MIN.	100%

PRIMARY STREET = WELTON ST.	REQUIRED	PROVIDED
TOTAL TRANSPARENCY	40%	52%
BUILDING LENGTH		66.8 LF
CLEAR GLAZING	27 LF	35.3 LF
ALTERNATIVES = N/A		

PRIMARY STREET = DOWNING ST.	REQUIRED	PROVIDED
TOTAL TRANSPARENCY	40%	47%
BUILDING LENGTH		25.3 LF
CLEAR GLAZING	10 LF	12 LF
ALTERNATIVES = N/A		

CAR PARKING	STANDARD	4
	ACCESSIBLE/VAN	1
	LOADING	1
	COMPACT	0
	TOTAL CAR PARKING	5 CARS/1 LOADING
BIKE PARKING	2 X INVERTED U @ L1	4
	(1 X HANGING) / ENCLOSED	15
	TOTAL BIKE PARKING	19 BIKES

PROJECT SITE PLAN NOTES

1. WELTON ST. AND DOWNING ST. ARE CONSIDERED A PRIMARY STREET FOR THE PURPOSE OF THIS SITE DEVELOPMENT PLAN IN SUPPORT OF THE PROPOSED PARKING REDUCTION

	PEDESTRIAN ACCESS
	VEHICLE ACCESS
	PARKING STALL DESIGNATION
	ACCESSIBLE ROUTE
	ADJACENT BUILDING FORMS
	AREA TO BE STRIPED (PAINTED)
	BUILDING ABOVE
	EXTERIOR BOLLARD

- SIGHT TRIANGLE RESTRICTIONS**
- 10'x10' PEDESTRIAN SIGHT TRIANGLES - NO ITEMS THAT ARE WIDER THAN 18 INCHES MAY BE TALLER THAN 30" WITHIN THIS TRIANGLE.
 - 30'x30' CORNER SIGHT TRIANGLES - CORNER TRIANGLES MUST BE FREE OF ALL ITEMS OVER 30" IN HEIGHT EXCEPT FOR TRAFFIC CONTROL DEVICES AND EQUIPMENT.
 - ROADWAY SIGHT TRIANGLES - NO ITEMS THAT ARE WIDER THAN 18 INCHES MAY BE TALLER THAN 30" WITHIN THIS TRIANGLE EXCEPT FOR STREET TREES AND TRAFFIC CONTROL DEVICES AND EQUIPMENT.

TREE PROTECTION ZONES

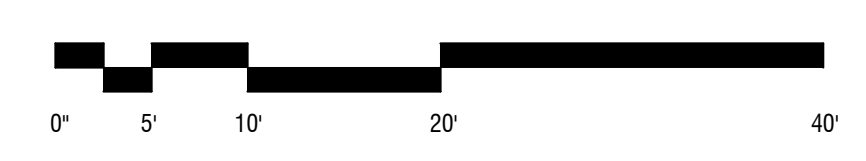
NO CONSTRUCTION ACCESS, ACTIVITY, OR STORAGE OF MATERIAL/DEBRIS/EQUIPMENT IS PERMITTED WITHIN TREE PROTECTION ZONES, INCLUDING GRADING, INSTALLATION OF UNDERGROUND UTILITIES, INSTALLATION OF SITE IMPROVEMENTS, AND/OR GRUBBING/LANDSCAPING. ALL CONSTRUCTION ACTIVITY MUST OCCUR OUTSIDE TREE PROTECTION ZONES (IE. DRIPLINES OF TREES)

SITE PLAN
1" = 10'-0"

SHOPWORKS
architecture
301 W. 45TH AVE • DENVER, CO 80216 • 303.433.4094

VARIANCE REQUEST LEGEND

- PARKING REDUCTION VARIANCE
- LANDSCAPE BUFFER VARIANCE
- FIRE FIGHTER ACCESS PATH



SITE PLAN
SHEET 3 OF 10

CHARITY'S HOUSE

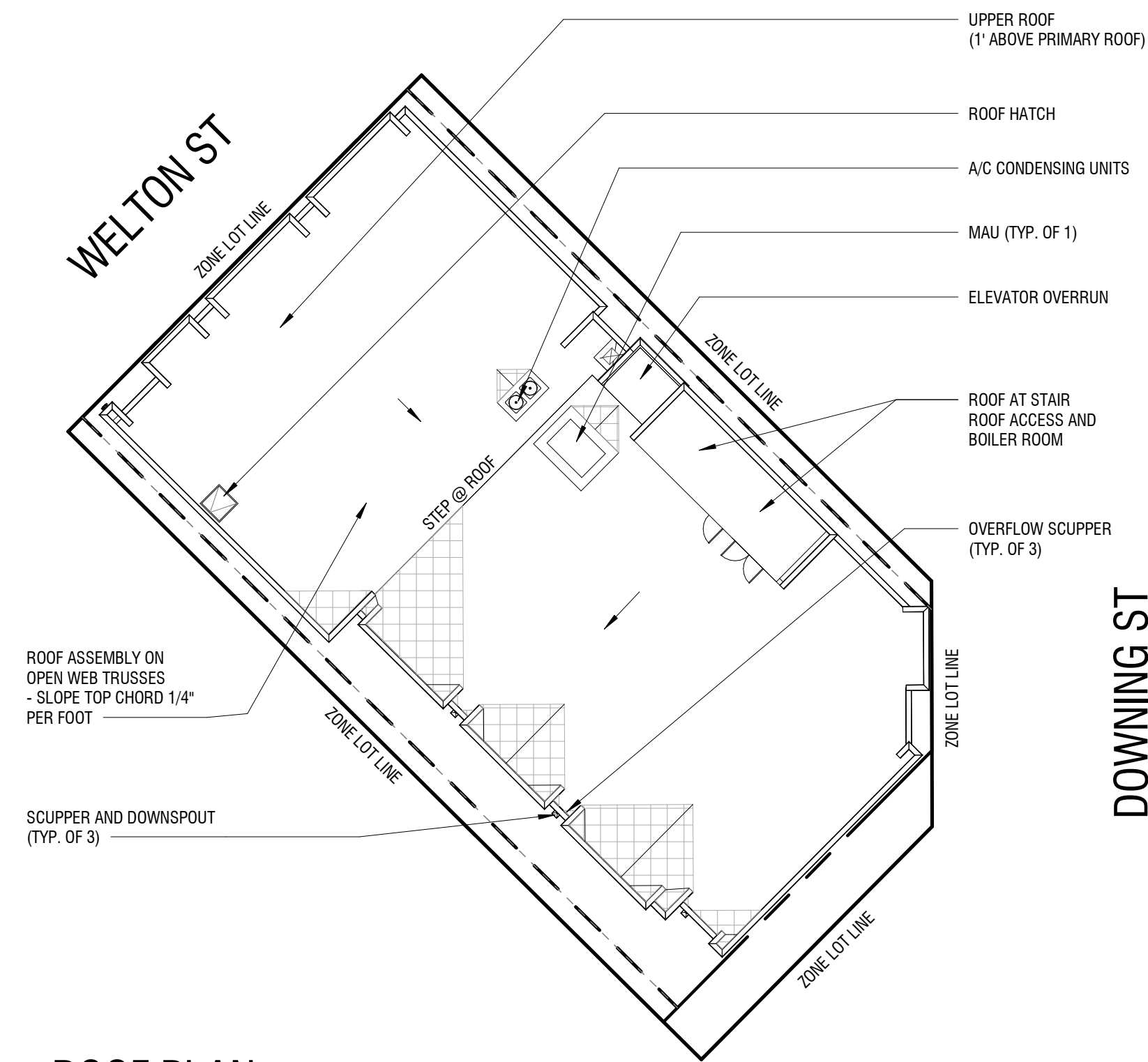
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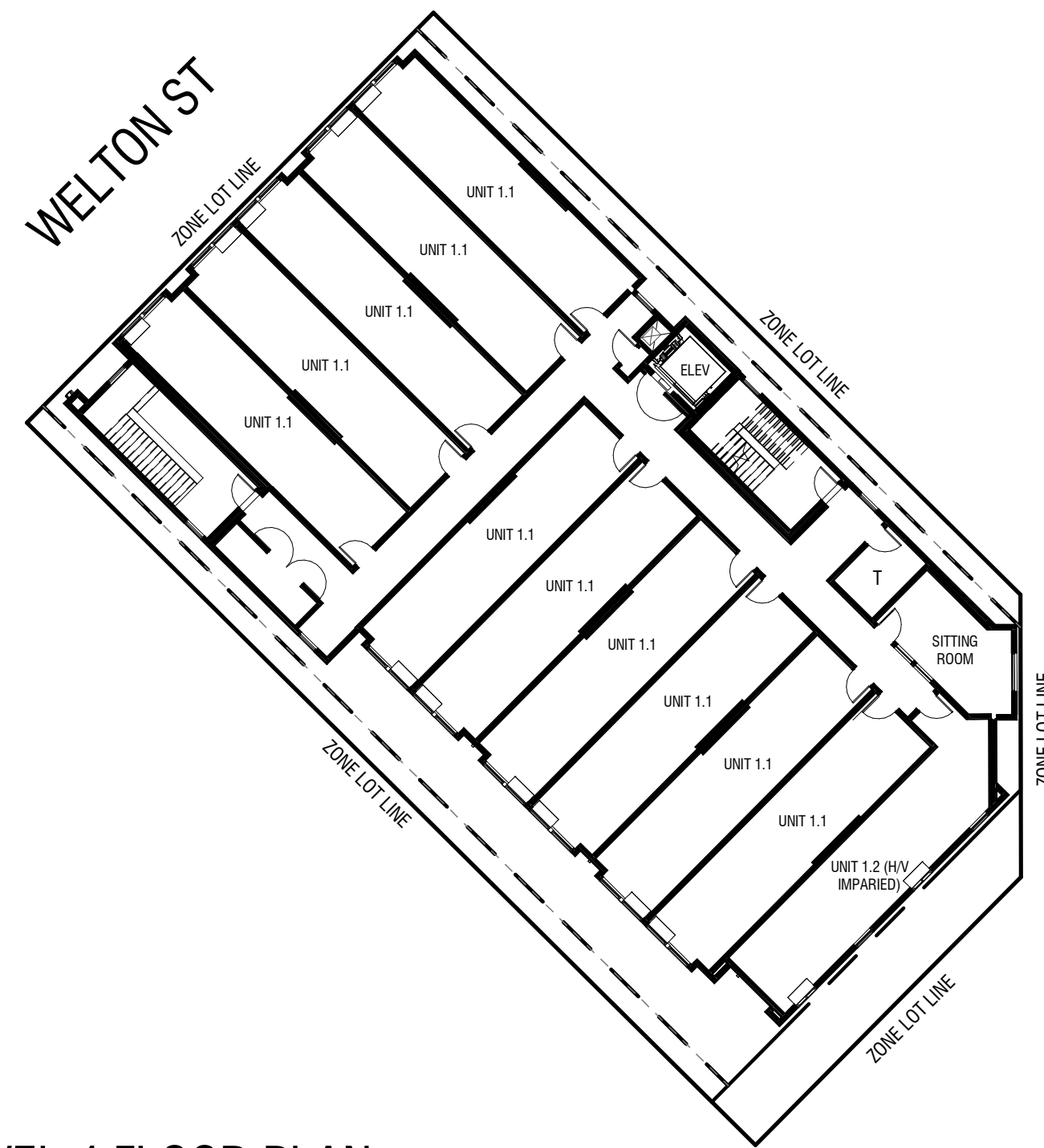
3022 WELTON STREET, DENVER, CO 80205

TOTAL ROOF AREA =	6,880 SF
TOTAL AREA OF ROOFTOP MECHANICAL AND UNOCCUPIED STAIR ENCLOSURES (33.3% MAX.) =	500 SF (8% OF TOTAL ROOF AREA)



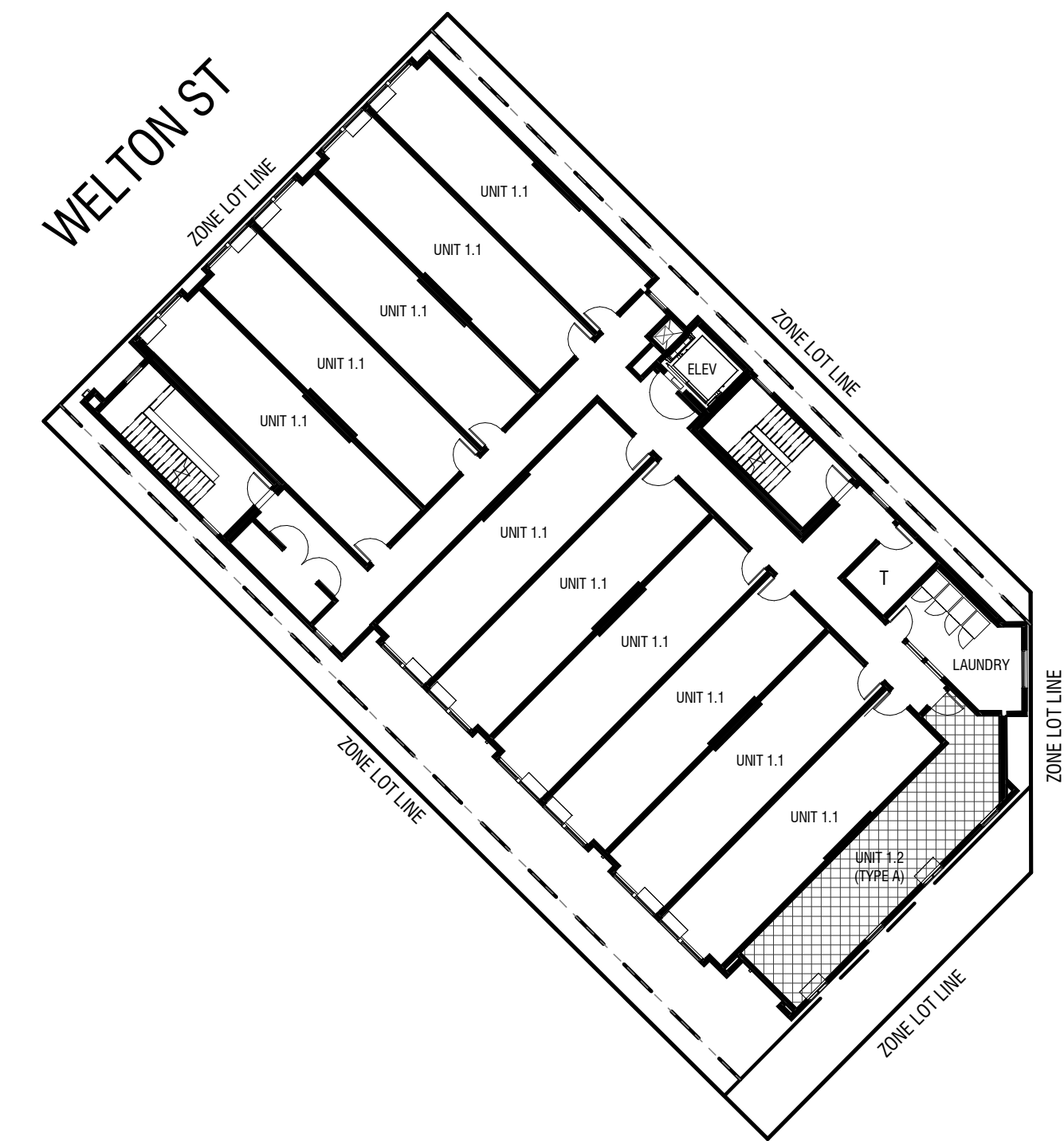
ROOF PLAN

1" = 20'-0"



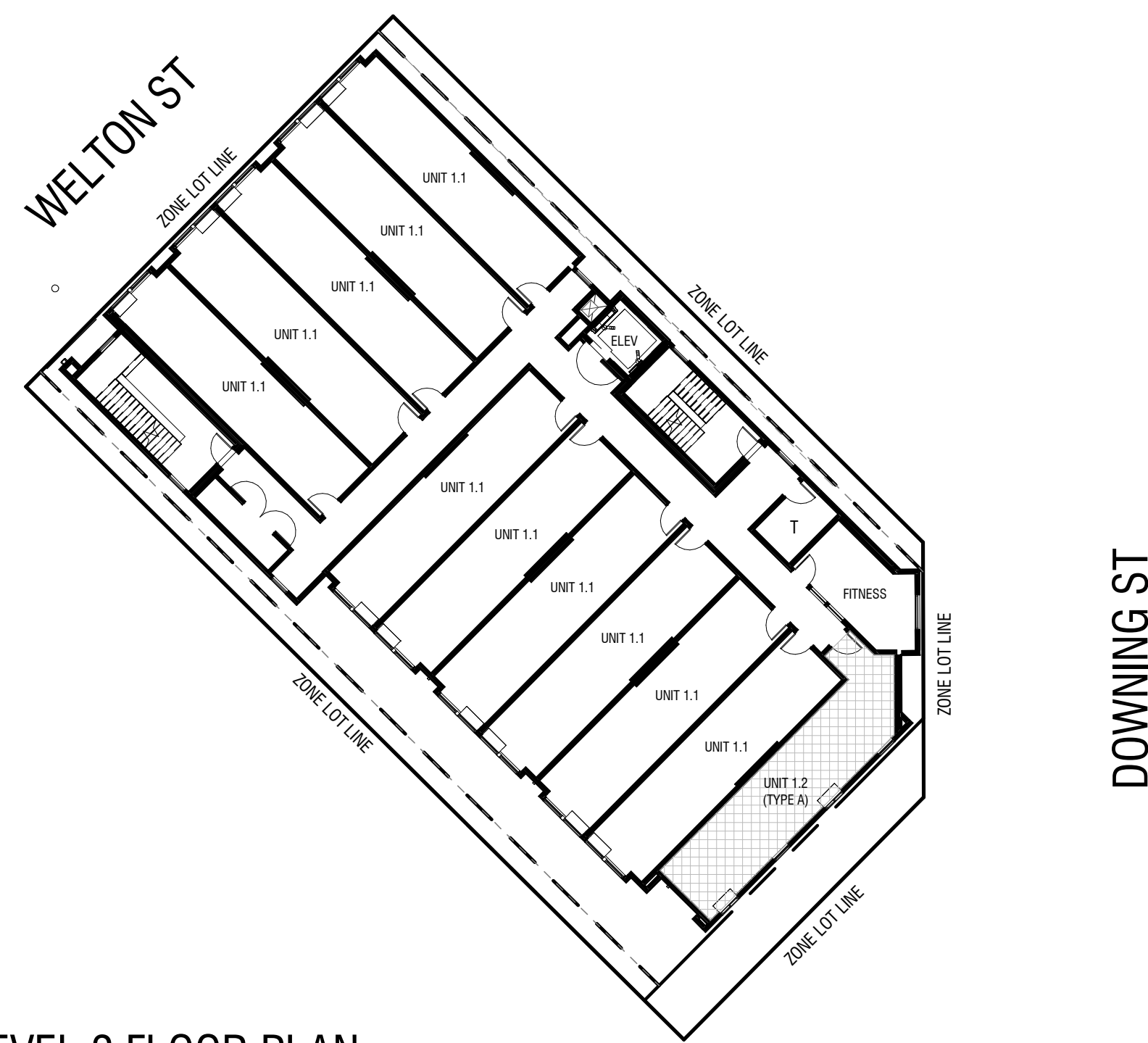
LEVEL 4 FLOOR PLAN

1" = 20'-0"



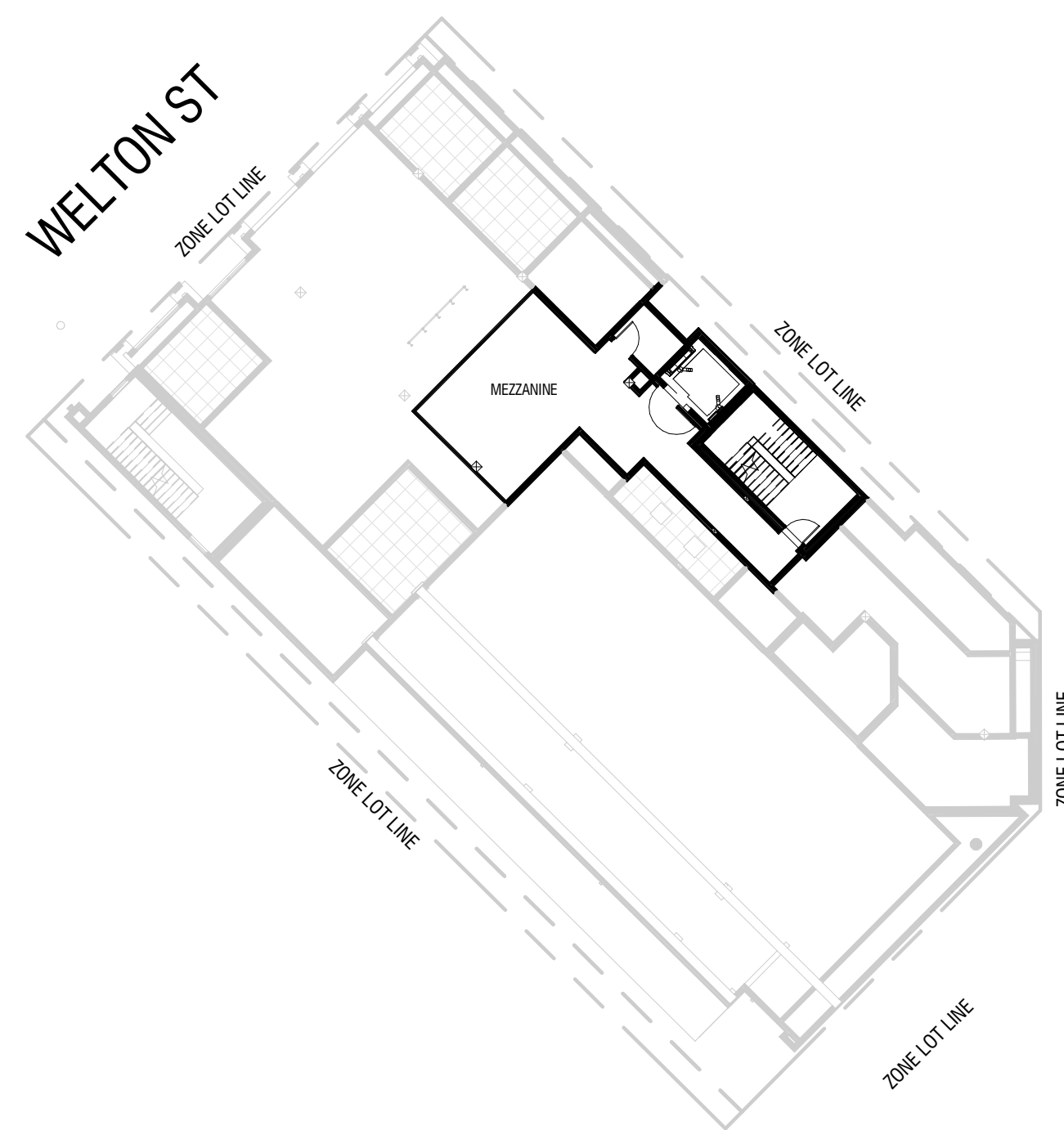
LEVEL 3 FLOOR PLAN

1" = 20'-0"



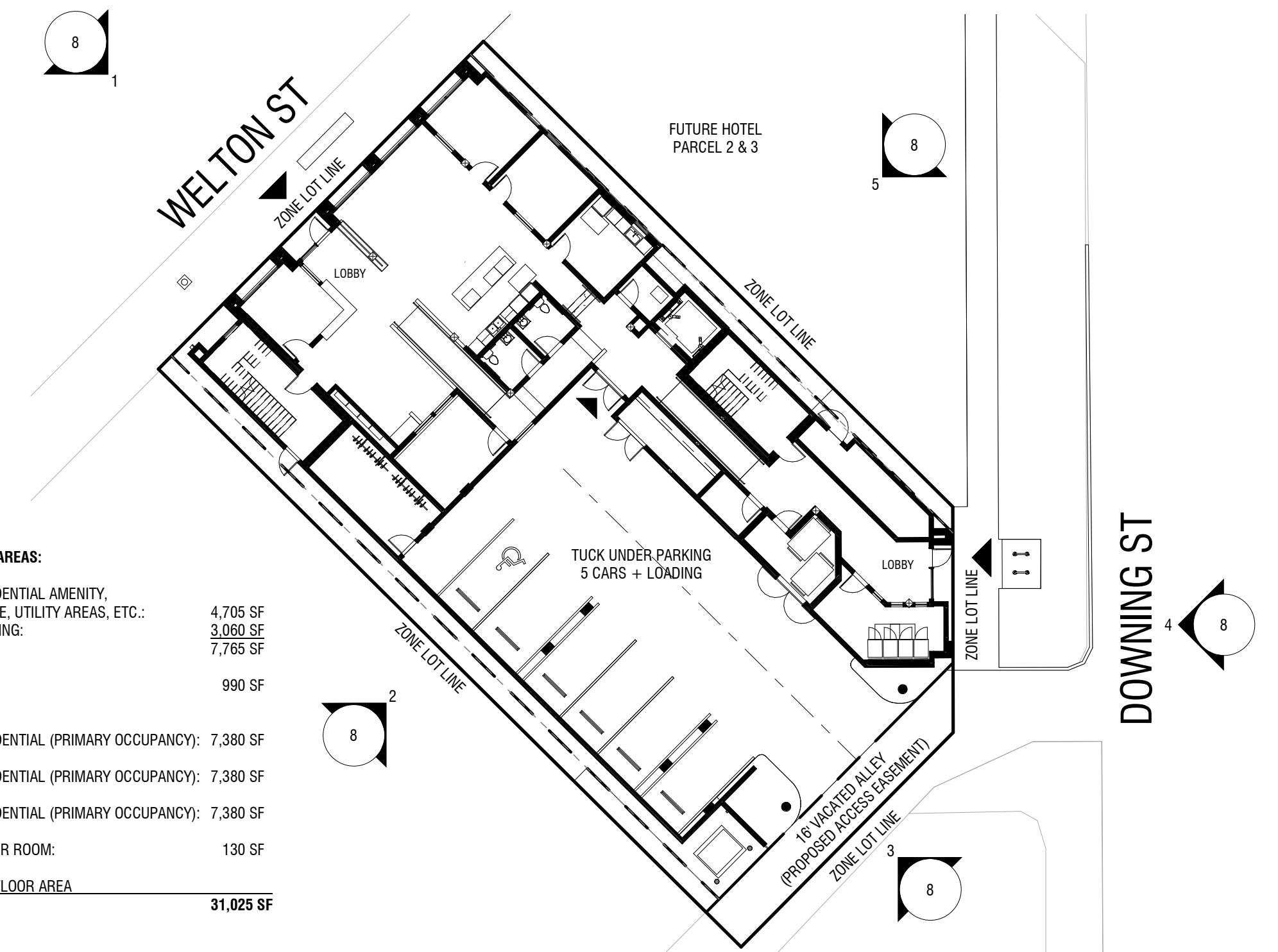
LEVEL 2 FLOOR PLAN

1" = 20'-0"



MEZZANINE

1" = 20'-0"

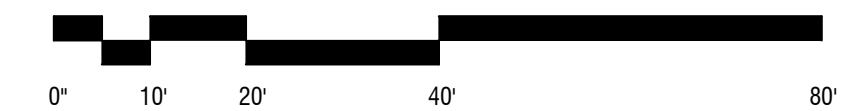


LEVEL 1 FLOOR PLAN

1" = 20'-0"

GROSS FLOOR AREAS:

LEVEL 1:	
RESIDENTIAL AMENITY, OFFICE, UTILITY AREAS, ETC.:	4,705 SF
PARKING:	3,060 SF
	7,765 SF
MEZZANINE:	990 SF
LEVEL 2:	RESIDENTIAL (PRIMARY OCCUPANCY): 7,380 SF
LEVEL 3:	RESIDENTIAL (PRIMARY OCCUPANCY): 7,380 SF
LEVEL 4:	RESIDENTIAL (PRIMARY OCCUPANCY): 7,380 SF
ROOF:	BOILER ROOM: 130 SF
TOTAL GROSS FLOOR AREA	31,025 SF



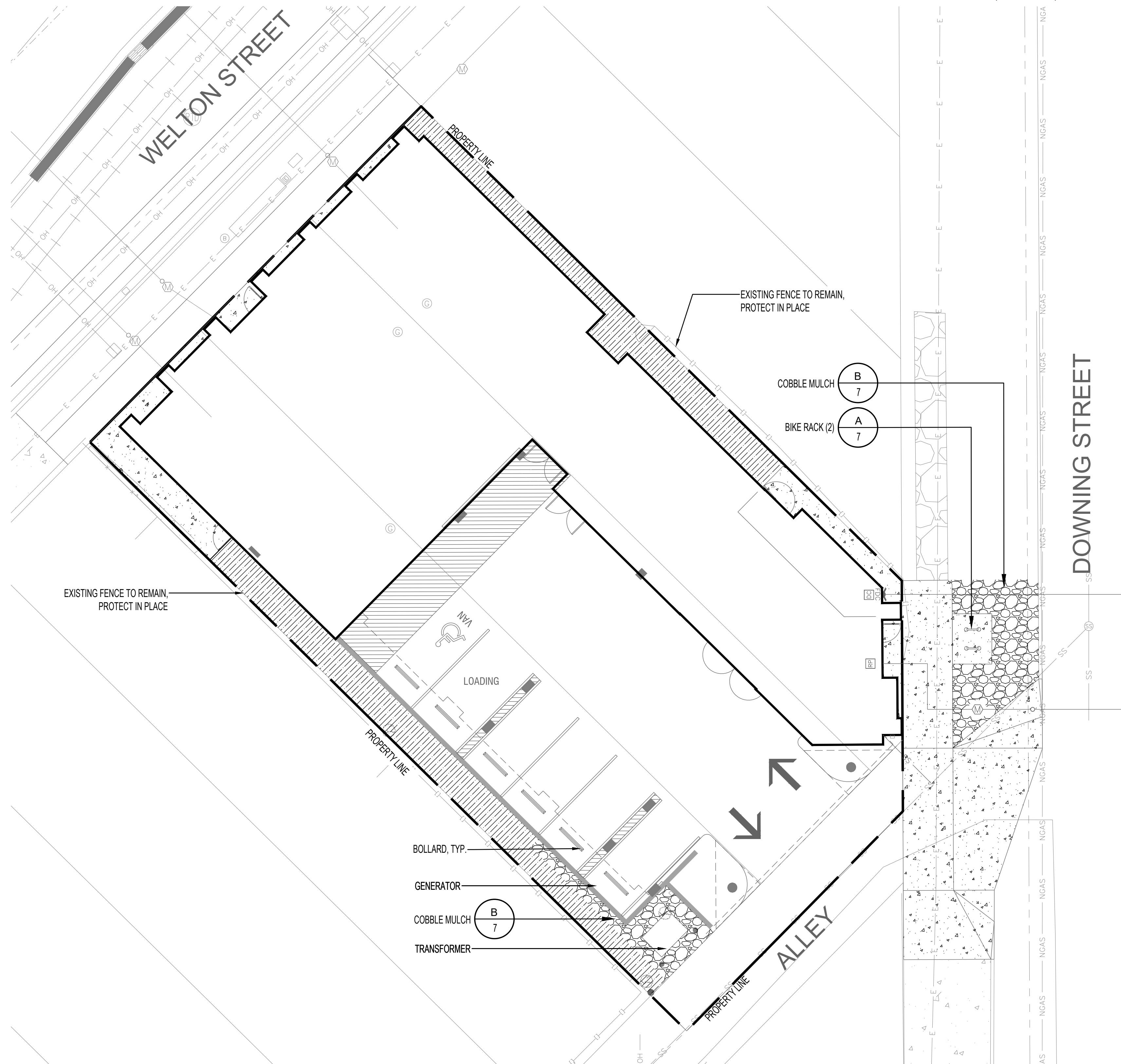
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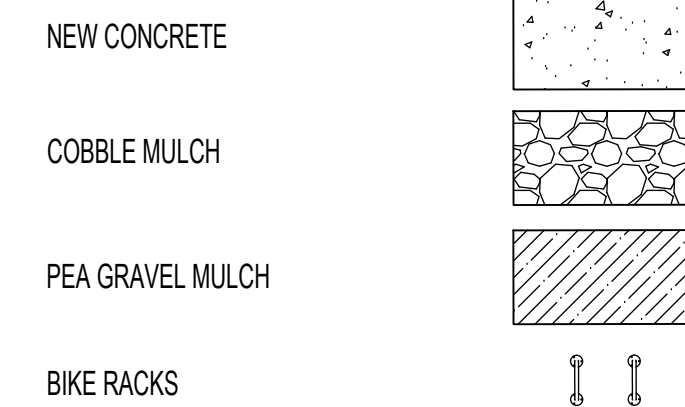
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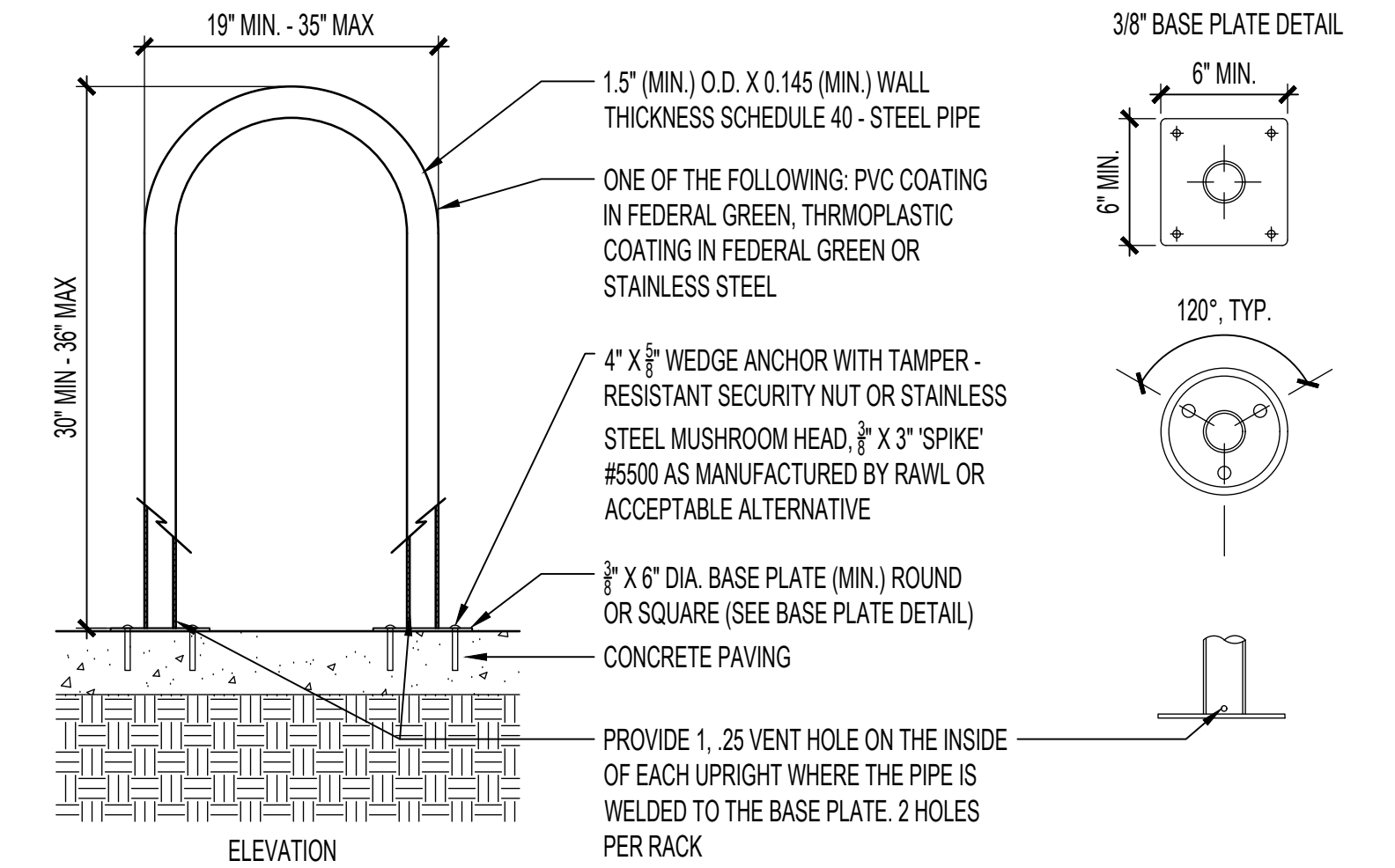


LANDSCAPE LEGEND



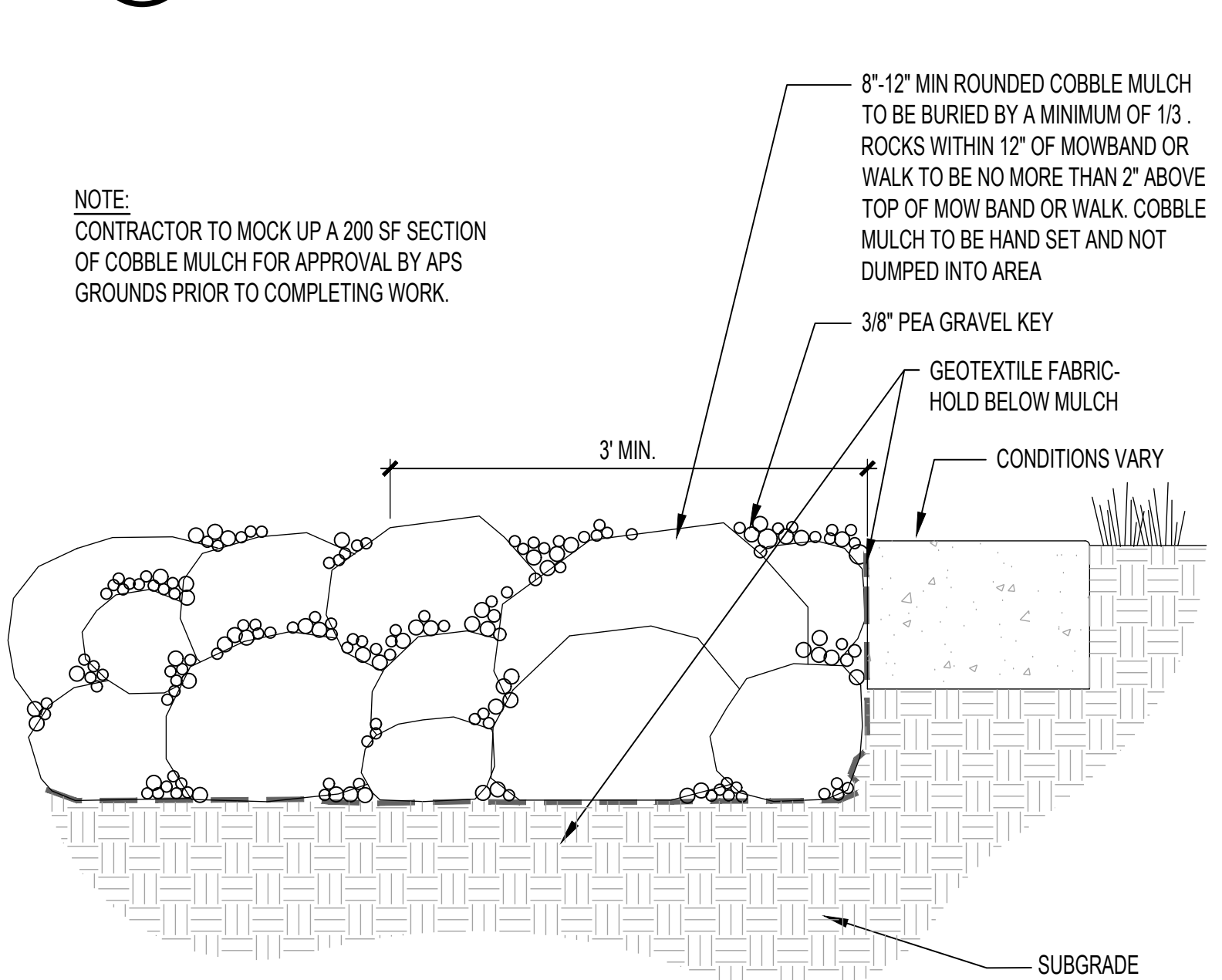
Office of the City Forester (OCF) Standard General Plan Notes:

- EXISTING TREES REQUIRED TO BE PRESERVED IN ROW AND/OR PUBLIC PLACE SHALL BE PROTECTED PER OCF STANDARDS AND PRACTICES. TREE PROTECTION SHALL BE INSTALLED PRIOR TO ISSUE OF DEMOLITION/BUILDING PERMIT, APPROVED BY THE OCF, AND SHALL REMAIN AS APPROVED THROUGHOUT CONSTRUCTION. NO ACCESS, CONSTRUCTION ACTIVITIES OR STORAGE OF CONSTRUCTION MATERIALS/DEBRIS/EQUIPMENT SHALL TAKE PLACE WITHIN TREE PROTECTION ZONES WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE OCF.
- PER CITY CODE, ALL TREE REMOVALS IN CITY/COUNTY OF DENVER MUST BE PERFORMED BY THE PROPERTY OWNER OR A TREE CONTRACTOR LICENSED BY OCF, INCLUDING TREES IN ROW, PUBLIC PLACE AND PRIVATE PROPERTY. FOR A CURRENT LIST OF LICENSED TREE CONTRACTORS, VISIT WWW.DENVERGOV.ORG/FORESTRY.
 - OCF-APPROVED TREE REMOVALS IN ROW OR PUBLIC PLACE;
 - A TREE REMOVAL PERMIT ISSUED BY THE OCF IS REQUIRED PRIOR TO REMOVAL. TREE REMOVAL PERMITS ARE NOT INCLUDED WITH BUILDING PERMITS OR PLAN APPROVALS AND MUST BE OBTAINED SEPARATELY FROM THE OCF. CONTACT THE OCF (FORESTRY@DENVERGOV.ORG) WITH NAME OF LICENSED CONTRACTOR OR PROPERTY OWNER PERFORMING REMOVAL. INCLUDE PROJECT NUMBER (2018PM0000684) AND PROJECT ADDRESS.
 - EXISTING ROW OR PUBLIC PLACE TREES APPROVED FOR REMOVAL BY THE OCF MUST BE PROTECTED IN PLACE UNTIL REMOVED BY AN OCF LICENSED TREE CONTRACTOR. FAILURE TO PROTECT SUCH TREES UNTIL REMOVAL, OR REMOVING TREES WITHOUT A PERMIT, WILL RESULT IN A NOTICE OF VIOLATION AND/OR CITATIONS/FINES.
 - A TREE REMOVAL PERMIT IS NOT REQUIRED FOR PRIVATE PROPERTY TREE REMOVALS.
- ALL PROPOSED LANDSCAPING IN THE ROW SHALL BE PER THE STREETScape DESIGN MANUAL WITH THE EXCEPTION OF TREE PLANTING. THIS SHALL BE IN ACCORDANCE WITH CURRENT OCF RULES AND REGULATIONS.
- ALL ELECTRIC FIXTURES AND UTILITIES, INCLUDING BUT NOT LIMITED TO OUTLETS AND LIGHTS, SHALL BE LOCATED AT OUTSIDE PERIMETER OF TREE PLANTING AREAS WITHIN HARDSCAPE. IN TREE LAWNS, FIXTURES SHALL BE PLACED MINIMUM 3 (THREE) FEET RADIALLY FROM BASE OF TRUNK.



- NOTES:**
- RACK SHALL NOT BE WELDED IN SECTIONS.
 - BASE PLATE SHALL BE WELDED TO STEEL PIPE.
 - RACK DIMENSIONS MAY VARY BY MANUFACTURER.
- MOUNTING (CONCRETE):**
- BASE PLATE SHALL BE MOUNTED TO CONCRETE VIA EXPANSION ANCHOR:
 - 4" X 8" WEDGE ANCHOR WITH TAMPER-RESISTANT SECURITY NUT, OR STAINLESS STEEL MUSHROOM HEAD 3/8" X 3" SPIKE #5800 AS MANUFACTURED BY RAWL OR APPROVED EQUAL
 - RACK SHALL BE SET FIRM AND ALIGNED WITH A TOLERANCE PLUS OR MINUS 3" FROM PLUMB
 - STEEL SHIMS SHALL BE INSTALLED PRIOR TO ANCHORING IN PLACE WHEN NEEDED.

A U STYLE BIKE RACK (CCD STD DETAIL 16.2.15)



B COBBLE MULCH

LANDSCAPE PLAN
SCALE 1"=10'-0"



LANDSCAPE PLAN
SHEET 7 OF 10

CHARITY'S HOUSE

SITE DEVELOPMENT PLAN

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ELEVATIONS MATERIAL LEGEND

	BRICK MASONRY		STUCCO, COLOR 1
	STUCCO, COLOR 2		LAP SIDING 1 (BODY), 6" EXPOSURE
	LAP SIDING 2, 4" EXPOSURE		LAP SIDING 3, 6" EXPOSURE
	CMU MASONRY		MIN. 6" OPAQUE WALL ON TOP OF CONCRETE CURB AT PARKING

GROUND STORY ACTIVATION		TRANSPARENCY	
PRIMARY STREET = WELTON ST.	REQUIRED	PROVIDED	
TOTAL TRANSPARENCY	40%	52%	
BUILDING LENGTH		66.8 LF	
CLEAR GLAZING	27 LF	35.3 LF	
ALTERNATIVES	= N/A		

GROUND STORY ACTIVATION		TRANSPARENCY	
PRIMARY STREET = DOWNING ST.	REQUIRED	PROVIDED	
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BUILDING LENGTH		25.3 LF	
CLEAR GLAZING	10 LF	12 LF	
ALTERNATIVES	= N/A		

BASE PLANE CALCULATION	
KEY PLAN	PRIMARY STREET = WELTON ST. & DOWNING ST.
	SIDE STREET = N/A
	BUILDING BASE PLANE = 5,225'
	$A = 5,227' +$
	$B = 5,226' +$
	$C = 5,223' +$
	$D = 5,224' +$
	$20,900' = 5,225'$
	4
	PER 13.1.3.2.A (SINGLE BASE PLANE)



NORTHEAST ELEVATION (SIDE INTERIOR)

1/16" = 1'-0"



EAST ELEVATION - DOWNING ST. (PRIMARY STREET)

1/16" = 1'-0"



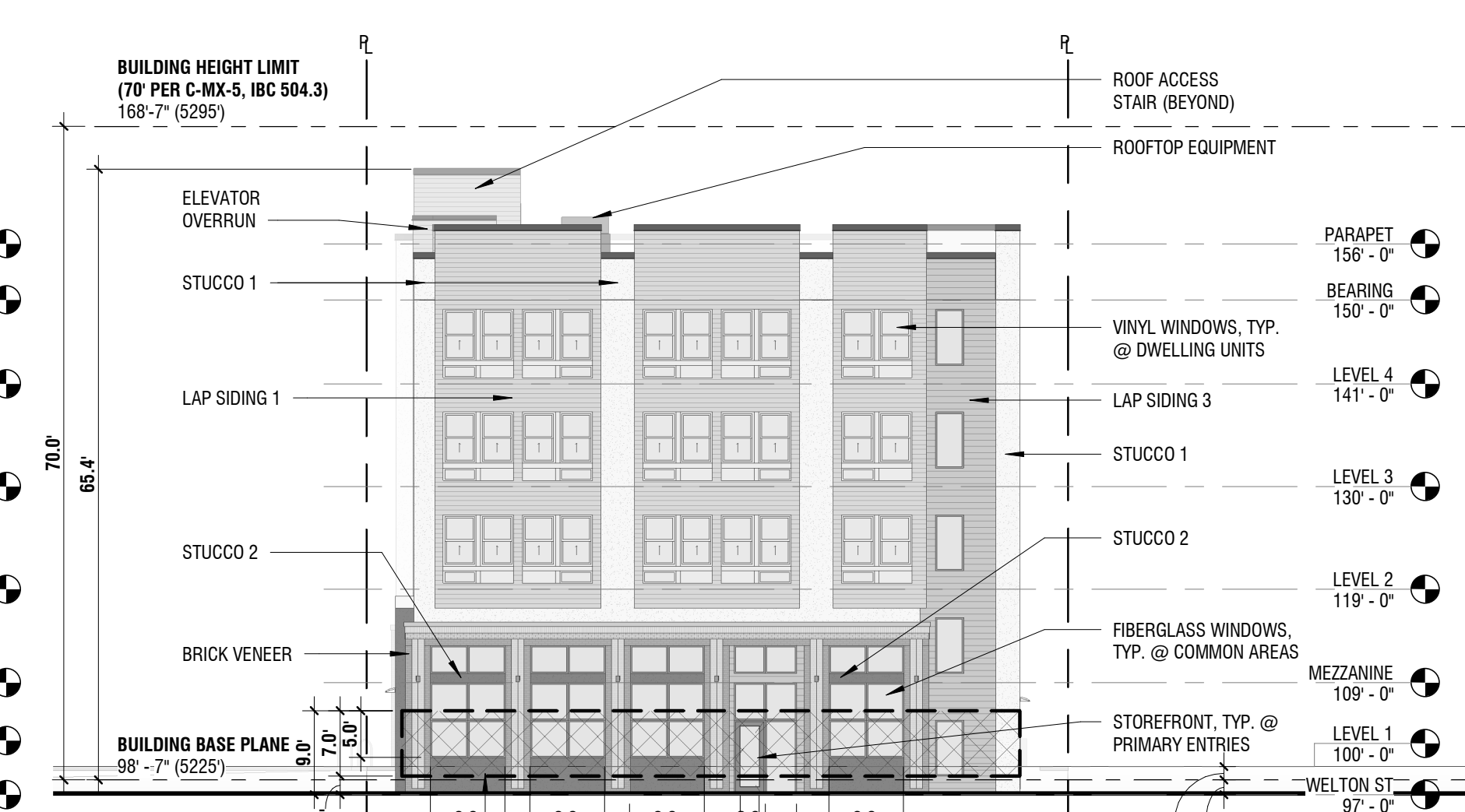
SOUTHWEST ELEVATION (SIDE INTERIOR)

1/16" = 1'-0"



SOUTHEAST ELEVATION - PARKING ENTRANCE (ACCESS EASEMENT)

1/16" = 1'-0"



NORTHWEST ELEVATION - WELTON ST. (PRIMARY STREET)

1/16" = 1'-0"

VARIANCE REQUEST LEGEND

- PARKING REDUCTION VARIANCE
- LANDSCAPE BUFFER VARIANCE



FIRE FIGHTER ACCESS PATH