

CHARITY'S HOUSE

SITE DEVELOPMENT PLAN (1ST MINOR MODIFICATION)

PART OF THE SOUTHWEST 1/4 OF SECTION 26, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH P.M.
CITY AND COUNTY OF DENVER, STATE OF COLORADO
3022 WELTON STREET, DENVER, CO 80205

LEGAL DESCRIPTION

LOT 4, BLOCK 75, CASE AND EBERTS ADDITION AND THE OUTLOT ADJOINING A B CASES ADDITION, LOT 5, BLOCK 75, CASE AND EBERTS ADDITION AND THE NORTHWESTERLY HALF OF THE VACATED ALLEY ADJOINING AND PART OF THE SIDE LOT ADJOINING IN A B CASES ADDITION, LOT 6 AND THE NORTHWESTERLY HALF OF THE VACATED ALLEY ADJOINING, BLOCK 75, CASE AND EBERTS ADDITION, CITY AND COUNTY OF DENVER, STATE OF COLORADO
COMBINED AREA: 9,660 SQUARE FEET OR 0.221 ACRES +/-

DENVER GREEN BUILDING ORDINANCE

AS REGULATED BY SECTION 4.05 OF THE BUILDING CERTIFICATION OF THE RULES AND REGULATIONS, THIS PROJECT IS SUBJECT TO THE COOL-ROOF REQUIREMENT BUT EXEMPT FROM A COMPLIANCE PATH AS A BUILDING OF 5 STORIES OR LESS AND AN OVERALL BUILDING HEIGHT LESS THAN 82.5'. THIS PROJECT WILL HOWEVER REMAIN SUBJECT TO SUSTAINABILITY REQUIREMENTS BY SELF-CERTIFYING UNDER ENTERPRISE GREEN COMMUNITIES.

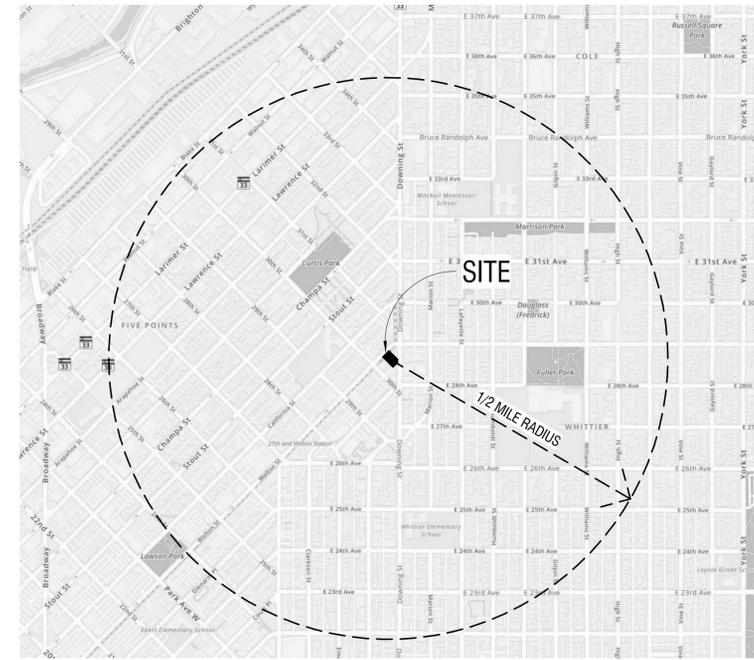
STATISTICAL INFORMATION

ZONE DISTRICT		C-MX-5	
GENERAL ZONE LOT INFORMATION			
GENERAL ZONE LOT INFORMATION	SQ. FT.	ACRES	
ZONE LOT SIZE (GROSS PROJECT AREA)	9,660 GSF	.22 ACRES	
AREA TO BE DEEDED FOR ADDITIONAL RIGHT OF WAY	N/A	N/A	
NET PROJECT AREA (AFTER DEEDING OF ANY NEEDED PUBLIC RIGHT OF WAY)	N/A	N/A	
PRIMARY AND SIDE STREET DESIGNATIONS		PRIMARY ST = WELTON ST., DOWNING ST. (SIDE ST. N/A)	
PROPOSED USES		DWELLING, MULTI-UNIT	
NUMBER OF DWELLING UNITS (RESIDENTIAL ONLY)		36 UNITS	
GROSS FLOOR AREA FOR EACH USE (FOR NON RESIDENTIAL AND MIXED USE PROJECTS)		30,536 GSF	
BUILDING FORM USED		GENERAL	
DESIGN ELEMENTS		REQUIRED	PROVIDED
BUILDING HEIGHT, STORIES (MIN, MAX)	5 STORIES	4 STORIES	
BUILDING HEIGHT, FEET (MIN, MAX)	70' MAX.	60.9'	
BUILD-TO			
PRIMARY STREET TOTAL BUILD-TO (MIN % WITHIN MIN/MAX) REFER TO SHEET 3 (WELTON ST.), ZONE LOT WIDTH = 75'	70% (0' / 10') 53' OF 75' REQ.	66.8' OF 75' (89%)	
PRIMARY STREET TOTAL BUILD-TO (MIN % WITHIN MIN/MAX) REFER TO SHEET 3 (DOWNING ST.), ZONE LOT WIDTH = 36.68', FRONTAGE EXCLUDES VACATED ALLEY, ACCESS EASEMENT = 25.3'	70% (0' / 10') 18' OF 25.3' REQ.	25.3' OF 25.3' (100%)	
OVERALL BUILDINGS OR STRUCTURE LENGTH (MAX)	N/A	N/A	
SETBACKS		REQUIRED	PROVIDED
PRIMARY STREET (MIN/MAX)	0'	0' (WELT.) / 0' (DWNG.)	
SIDE STREET (MIN/MAX)	0'	N/A	
SIDE INTERIOR (MIN/MAX)	0'	NE @ 3'-0"/5'-0' SW @ 3'-0"/5'-0'	
REAR (MIN/MAX)	0'	0'	
UPPER STORY REAR SETBACK (ABOVE 27 FT. MIN) - ADJ. TO PD	N/A	N/A	
UPPER STORY REAR SETBACK (ABOVE 31 FT. MIN) - ADJ. TO PD	N/A	N/A	
PARKING		REQUIRED	PROVIDED
STANDARD SPACES	.75 / UNIT = 27	N/A	
(0.1) ALT PARKING RATIO (DZC 10.4.5.2) - AFFORDABLE HOUSING 0.1 / UNIT = 3.6	4	3	
COMPACT SPACES (10% MAX)	0	0	
ACCESSIBLE (2% 27x02= 1) + 1 SPACE FOR LEASING OFFICE	2	2	
LOADING SPACES	1	1	
TOTAL	4	5	
BICYCLE 1 PER 2 UNITS (80% ENCLOSED / 20% FIXED)	(15 / 4)	(27 / 4)	
TOTAL	18	31	
GROUND STORY ACTIVATION (TRANSPARENCY)		REQUIRED	PROVIDED
TOTAL TRANSPARENCY PRIMARY STREET - WELTON ST.(%) (REFER TO SHEET 8 OF 10 FOR ANALYSES)		55%	
TOTAL TRANSPARENCY SIDE STREET - DOWNING ST.(%) (REFER TO SHEETS 8 OF 10 FOR ANALYSES)		45%	

SHEET INDEX

SHEET 1	COVER SHEET
SHEET 2	LAND TITLE SURVEY
SHEET 3	SITE PLAN
SHEET 4	ARCHITECTURAL FLOOR PLANS
SHEET 5	UTILITY PLAN
SHEET 6	GRADING PLAN
SHEET 7	LANDSCAPE PLAN
SHEET 8	ARCHITECTURAL BUILDING ELEVATIONS
SHEET 9	SITE PHOTOMETRIC PLAN
SHEET 10	SITE PHOTOMETRIC DETAILS
SHEET 11	SHARED PARKING ANALYSIS

VICINITY MAP



SCALE:
1" = 800'

OWNER'S SIGNATURE

I (We) the undersigned, shall comply with all regulations contained in Denver Zoning Code. The following signatures constitute all owners and holders of deeds of trust for land and structures included in this plan: **CHARITY'S HOUSE**

BY _____ DATE _____
EDDIE H. WOLFORK, OWNER

BY _____ DATE _____
ROBERT WOLFORK, OWNER

State of Colorado
City and County of Denver

The foregoing instrument was acknowledged before me this _____ day of _____ AD 20____ by _____

Witness my hand and official seal

My commission expires _____

Notary Public _____

Address _____

SURVEYORS SIGNATURE

I, Jeffrey J. Mckenna, a Registered Land Surveyor in the State of Colorado, do hereby certify that the survey for Charity House was made under my supervision and the accompanying plan accurately and properly shows said survey.

JEFFREY J. MCKENNA PLS# _____

APPROVALS

Approved By _____ Date _____
For the Zoning Administrator

Approved By _____ Date _____
For the Manager of Community Planning and Development

CLERK & RECORDER'S CERTIFICATION

State of Colorado _____ J.S.S.

City and County of Denver

I hereby certify that this instrument was filed for record in my office at _____ o'clock _____ m., _____ 20____ and duly recorded under Reception # _____.

Clerk and Recorder, Ex-Officio Clerk of the City and County of Denver

By _____ Deputy

Fee _____

GENERAL NOTES

- THE PURPOSE OF THIS MINOR MODIFICATION IS TO PROVIDE AN ADDITIONAL ACCESSIBLE PARKING SPACE.
- THE PURPOSE OF THIS AMENDMENT IS TO REMOVE THE OFF-STREET PARKING AGREEMENT DESCRIBED IN NOTE 14 BELOW AND USE THE NEWLY ADOPTED AFFORDABLE HOUSING ALTERNATE PARKING RATIO OF (0.1) PARKING SPACES PER UNIT. THIS AMENDMENT ALSO UPDATED THE SINGLE BASE PLANE CALCULATIONS BASED UPON THE CHANGES WITHIN THE JULY 1, 2021 TEXT AMENDMENT.
- THIS SDP PROJECT WAS REVIEWED AND APPROVED UNDER THE DENVER ZONING CODE AS ADOPTED ON JUNE 25TH, 2010; RESTATED IN ITS ENTIRETY ON MAY 24TH, 2018; AS AMENDED THROUGH JULY 1, 2021 TEXT AMENDMENT.
- FENCES, WALLS, SIGNS, AND ACCESSORY STRUCTURES ARE SUBJECT TO SEPARATE REVIEWS AND PERMITS.
- ANGLES SHOWN ARE EITHER 90 DEGREES OR A SUPPLEMENT OF THE ANGLE INDICATED.
- PRIVATE ROADWAYS WILL BE POSTED WITH "FIRE LANE" SIGNS AS REQUIRED BY THE DENVER FIRE DEPARTMENT.
- PARKING SPACES FOR PERSONS WITH DISABILITIES WILL BE CLEARLY DELINEATED WITH UPRIGHT SIGNS.
- APPROVAL FOR THIS PLAN DOES NOT CONSTITUTE OR IMPLY COMPLIANCE WITH ADA REQUIREMENTS.
- SITE(S) SHALL BE LANDSCAPED PRIOR TO ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY (CO) DURING THE GROWING SEASON OF APRIL 1ST TO OCTOBER 1ST, AT ALL OTHER TIMES THE INDIVIDUAL SITE SHALL BE LANDSCAPED WITHIN 45 (FORTY-FIVE) DAYS OF THE START OF THE FOLLOWING GROWING SEASON.
- AN ACCESS EASEMENT FOR EMERGENCY SERVICES IS HEREBY GRANTED ON AND ACROSS ALL AREAS FOR POLICE, FIRE, MEDICAL, AND OTHER EMERGENCY VEHICLES AND FOR THE PROVISION OF EMERGENCY SERVICES.
- ALL LANDSCAPED AREAS SHALL BE IRRIGATED WITH UNDERGROUND AUTOMATIC IRRIGATION SYSTEM. TREES, SHRUBS, AND DECORATIVE GRASS WILL BE IRRIGATED BY A SEPARATE ZONE FROM SOD/GRASS; THIS INCLUDES TREES PLANTED IN SOD/GRASS AREAS. THE IRRIGATION SYSTEM IS TO HAVE A RAIN SENSOR SHUTOFF INSTALLED.
- PRIVATE ROADWAYS ARE NON-DEDICATED STREETS AND WILL NOT BE MAINTAINED BY THE CITY AND COUNTY OF DENVER
- RESPONSIBILITY FOR THE MAINTENANCE OF THE COMMONLY OWNED LAND AND STORM WATER DETENTION FACILITY CONSTRUCTED AS PART OF THIS DEVELOPMENT WILL BE THAT OF THE HOME OWNERS ASSOCIATION / PROPERTY OWNER(S) OF PARCELS) 3022 WELTON ST.
- A ZONING PERMIT WAS ISSUED ON SEPTEMBER 2, 2020 (2020 ZONE 0004171) FOR THE APPROVAL OF THE OFF-SITE PARKING AGREEMENT WHICH WILL PROVIDE 17 DEDICATED SIGNED PARKING SPACES LOCATED AT 2952-2958 N. DOWNING STREET FOR THE CHARITY'S HOUSE SITE DEVELOPMENT PLAN LOCATED AT 3022 WELTON STREET (2018PM000075); PURSUANT TO SECTION 10-4-5.3.2 OF THE DENVER ZONING CODE PARKING REQUIREMENTS MAY BE MET OFF THE ZONE LOT BY OWNERSHIP OR A CURRENT LEASE OF PARKING SPACES ON ANOTHER ZONE LOT AND DEDICATED TO THE PRIMARY USE BEING SERVED; OBTAINING OWNERSHIP OR TERMINATING LEASE OF THE REQUIRED PARKING SPACES SHALL RESULT IN TERMINATION OF THE ZONING PERMIT UNTIL THE PARKING DEFICIENCY IS REMEDIATED.

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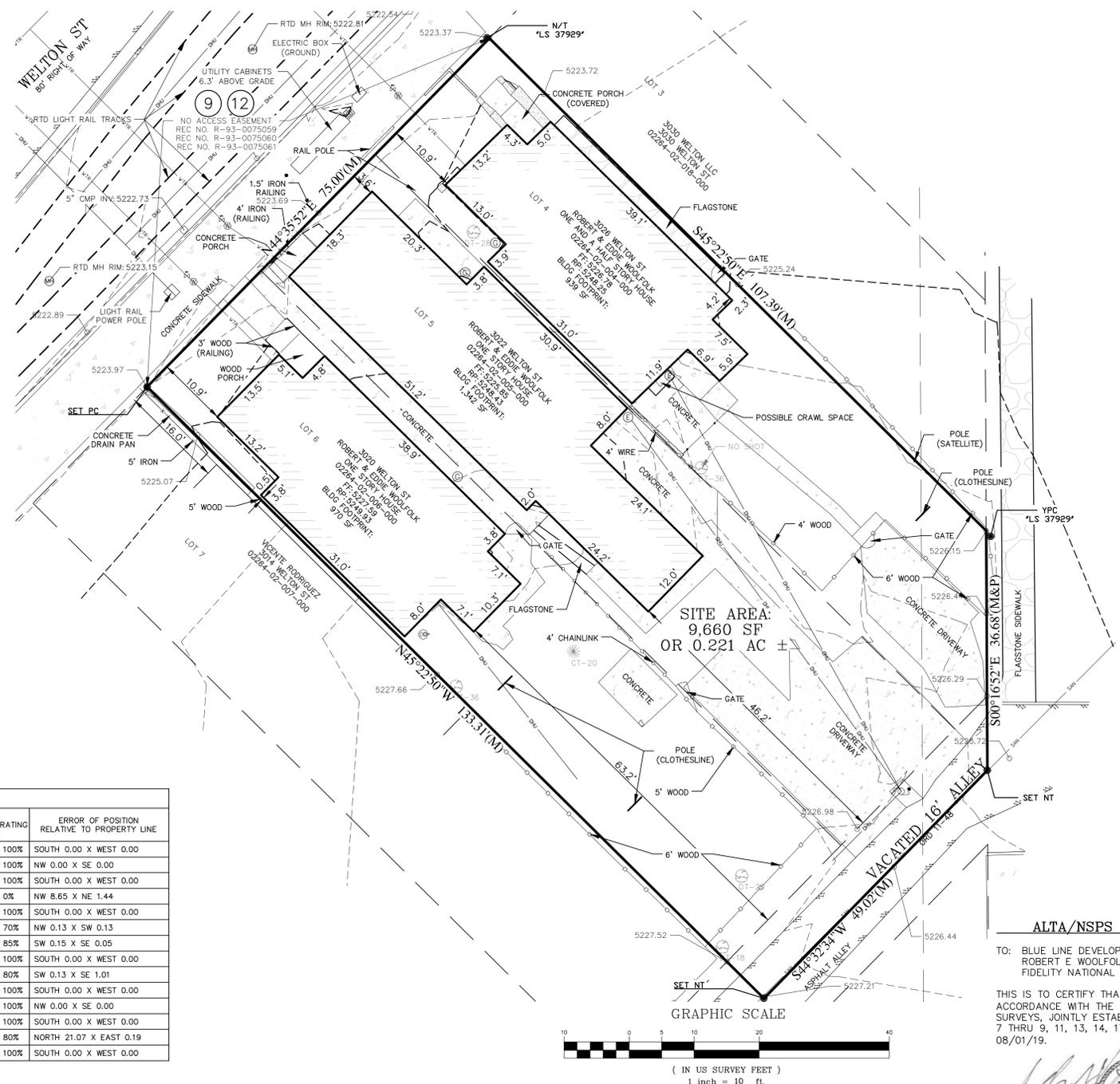
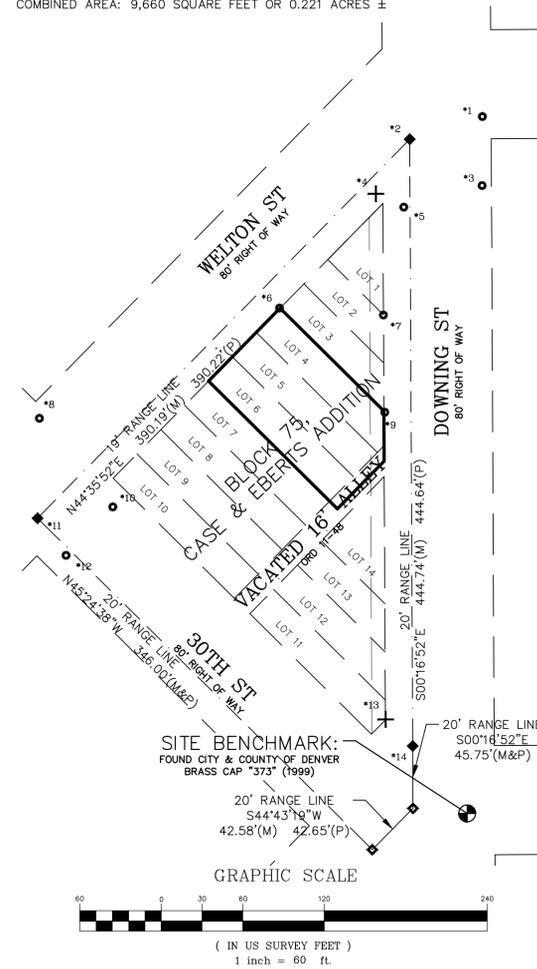
3022 WELTON STREET, DENVER, CO 80205

LEGAL DESCRIPTION

LOT 4, BLOCK 75, CASE & EBERTS ADDITION AND THE OUTLOT ADJOINING A B CASES ADDITION, LOT 5, BLOCK 75, CASE & EBERTS ADDITION AND THE NORTHWESTERLY HALF OF THE VACATED ALLEY ADJOINING AND PART OF THE SIDE LOT ADJOINING IN A B CASES ADDITION, LOT 6 AND THE NORTHWESTERLY HALF OF THE VACATED ALLEY ADJOINING, BLOCK 75, CASE & EBERTS ADDITION, CITY AND COUNTY OF DENVER, STATE OF COLORADO
COMBINED AREA: 9,660 SQUARE FEET OR 0.221 ACRES ±

BASIS OF BEARING: THE GPS DERIVED 19' RANGE LINE IN WELTON ST AS EVIDENCED BY THE RANGE POINT AT THE INTERSECTION OF 30TH ST AND WELTON ST (BEING THREE FOUND ALLOY CAP RANGE POINT TIES) FROM WHENCE THE RANGE POINT AT THE INTERSECTION OF WELTON ST AND DOWNING ST (BEING THREE FOUND ALLOY CAP RANGE POINT TIES) BEARS NORTH 44°35'52" EAST A DISTANCE OF 390.19 FEET, WITH ALL BEARINGS HEREIN RELATIVE THERETO

BENCHMARK: FOUND CITY AND COUNTY OF DENVER BRASS CAP BENCHMARK STAMPED "373" LOCATED AT THE INTERSECTION OF 28TH AVE AND DOWNING ST, AT THE SOUTHEAST CORNER, TOP CURB.
NAVD 88 ELEVATION=5229.23



LEGEND	
	SET PIN & CAP P.L.S. 34183
	SECTION CORNER
	BENCHMARK
	CHISELED CROSS
	MONUMENT
	RANGE POINT
	RANGE POINT CALCULATED
	CONIFEROUS TREE (CT 8IN)
	DECIDUOUS TREE (DT 12IN)
	UTILITY POLE
	CLEANOUT
	GAS METER
	ELECTRIC METER
	WATER VALVE
	FIRE HYDRANT
	WATER METER
	LIGHT POLE
	SIGN
	BOLLARD
	MANHOLE
	STORM SEWER MANHOLE
	SANITARY SEWER MANHOLE
	MAJOR CONTOUR
	MINOR CONTOUR
	OVERHEAD UTILITY
	SANITARY SEWER LINE
	STORM SEWER LINE
	WATER LINE
	EDGE OF ASPHALT
	IRON FENCE
	CHAINLINK FENCE
	WOOD FENCE
	SIDEWALK CONCRETE
(M)	MEASURED
(P)	PLATTED
(C)	CALCULATED

BOUNDARY CONTROL CALCULATION TABLE				
MONUMENT DESCRIPTION NUMBER	DESCRIPTION OF FOUND MONUMENT	LOCATION OF MONUMENT	RATING	ERROR OF POSITION RELATIVE TO PROPERTY LINE
01	RANGE POINT TIE - 2" ALLOY CAP "LS 35585"	INTERSECTION OF WELTON ST & DOWNING ST	100%	SOUTH 0.00 X WEST 0.00
02	RANGE POINT (CALCULATED FROM TIES)	INTERSECTION OF WELTON ST & DOWNING ST	100%	NW 0.00 X SE 0.00
03	RANGE POINT TIE - 2" ALLOY CAP "LS 35585"	INTERSECTION OF WELTON ST & DOWNING ST	100%	SOUTH 0.00 X WEST 0.00
04	CHISELED CROSS	N COR LOT 1, BLOCK 75, CASE & EBERTS ADD	0%	NW 8.65 X NE 1.44
05	RANGE POINT TIE - 2" ALLOY CAP "LS 35585"	INTERSECTION OF WELTON ST & DOWNING ST	100%	SOUTH 0.00 X WEST 0.00
06	NAIL & TAG "LS 37929"	N COR LOT 4, BLOCK 75, CASE & EBERTS ADD	70%	NW 0.13 X SW 0.13
07	YELLOW PIN & CAP "LS 37929"	E COR LOT 2, BLOCK 75, CASE & EBERTS ADD	85%	SW 0.15 X SE 0.05
08	RANGE POINT TIE - 2" ALLOY CAP "LS 35585"	INTERSECTION OF WELTON ST & 30TH ST	100%	SOUTH 0.00 X WEST 0.00
09	YELLOW PIN & CAP "LS 37929"	S COR LOT 3, BLOCK 75, CASE & EBERTS ADD	80%	SW 0.13 X SE 1.01
10	RANGE POINT TIE - 2" ALLOY CAP "LS 35585"	INTERSECTION OF WELTON ST & 30TH ST	100%	SOUTH 0.00 X WEST 0.00
11	RANGE POINT (CALCULATED FROM TIES)	INTERSECTION OF WELTON ST & 30TH ST	100%	NW 0.00 X SE 0.00
12	RANGE POINT TIE - 2" ALLOY CAP "LS 35585"	INTERSECTION OF WELTON ST & 30TH ST	100%	SOUTH 0.00 X WEST 0.00
13	CHISELED CROSS	S COR LOT 11, BLOCK 75, CASE & EBERTS ADD	80%	NORTH 21.07 X EAST 0.19
14	RANGE POINT - DRAGTOOTH	INTERSECTION OF 30TH ST & DOWNING ST	100%	SOUTH 0.00 X WEST 0.00

ALTA/NSPS CERTIFICATION
TO: BLUE LINE DEVELOPMENT, INC., A MONTANA CORPORATION;
ROBERT E. WOOLFOLK AND EDDIE M. WOOLFOLK;
FIDELITY NATIONAL TITLE INSURANCE COMPANY;

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1 THRU 5, 6a, 7 THRU 9, 11, 13, 14, 17 THRU 19 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON 08/01/19.

JEFFREY J. MACKENNA DATE: 08/06/19
PLS 34183
FALCON SURVEYING INC.
9940 W 25TH AVE, LAKEWOOD, CO 80215
303-202-1560
WWW.FALCONSURVEYING.COM

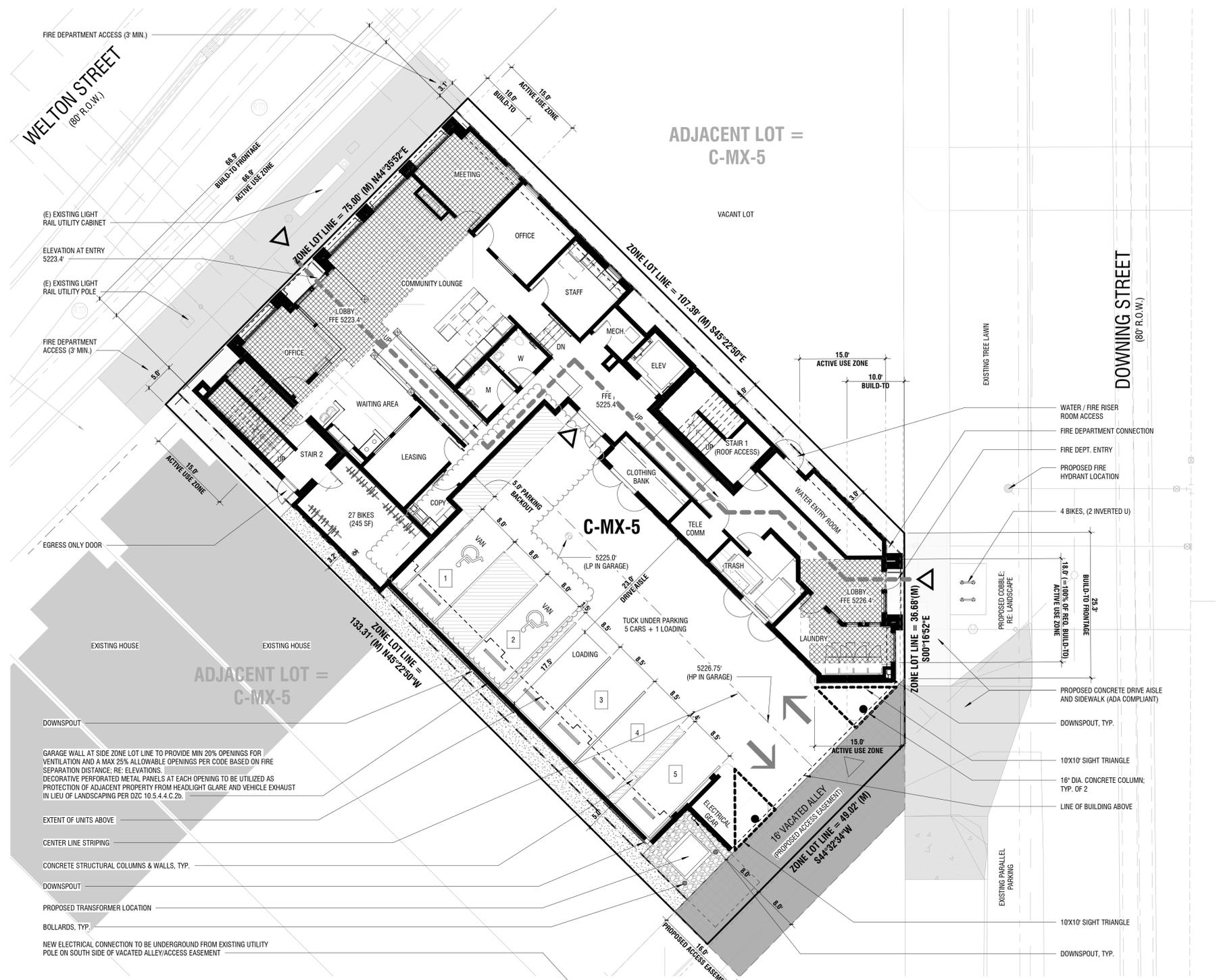
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PART OF THE SOUTHWEST 1/4 OF SECTION 26, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH P.M.

CITY AND COUNTY OF DENVER, STATE OF COLORADO

3022 WELTON STREET, DENVER, CO 80205



BUILD-TO ANALYSIS (WELTON ST.)		
PRIMARY STREET = WELTON ST.	REQUIRED	PROVIDED
ZONE LOT STREET FRONTAGE LENGTH		75'
TOTAL BUILDING LENGTH		66.8'
BUILDING LENGTH BETWEEN 0' & 10'	56.25'	66.8'
TOTAL BUILD-TO PERCENTAGE	70% MIN.	89%

BUILD-TO ANALYSIS (DOWNING ST.)		
PRIMARY STREET = DOWNING ST.	REQUIRED	PROVIDED
ZONE LOT STREET FRONTAGE LENGTH (EXCLUDING VACATED ALLEY/PROPOSED ACCESS EASEMENT)		25.3'
TOTAL BUILDING LENGTH		25.3'
BUILDING LENGTH BETWEEN 0' & 10'	18'	25.3'
TOTAL BUILD-TO PERCENTAGE	70% MIN.	100%

GROUND STORY ACTIVATION			TRANSPARENCY
PRIMARY STREET = WELTON ST.	REQUIRED	PROVIDED	
TOTAL TRANSPARENCY	40%	55%	
BUILDING LENGTH		66.8 LF	
CLEAR GLAZING	27 LF	37 LF	
ALTERNATIVES	= N/A		

GROUND STORY ACTIVATION			TRANSPARENCY
PRIMARY STREET = DOWNING ST.	REQUIRED	PROVIDED	
TOTAL TRANSPARENCY	40%	45%	
BUILDING LENGTH		25.3 LF	
CLEAR GLAZING	10 LF	11.5 LF	
ALTERNATIVES	= N/A		

PARKING SCHEDULE		
CAR PARKING	STANDARD	
	STANDARD	3
	ACCESSIBLE/VAN	2
	LOADING	1
	COMPACT	0
	ON-SITE PARKING	5 CARS/1 LOADING
	OFF-SITE SHARED PARKING	17 (ING. 2 ADA)
	TOTAL CAR PARKING	5
	BIKE PARKING	
	5 X INVERTED U @ L1	4
	3 X 9 HANGING (ENCLOSED)	27
	TOTAL BIKE PARKING	31

PROJECT SITE PLAN NOTES

1. WELTON ST. AND DOWNING ST. ARE CONSIDERED A PRIMARY STREET FOR THE PURPOSE OF THIS SITE DEVELOPMENT PLAN IN SUPPORT OF THE PROPOSED PARKING REDUCTION

SDP PLAN LEGEND	
	PEDESTRIAN ACCESS
	VEHICLE ACCESS
	PARKING STALL DESIGNATION
	ACCESSIBLE ROUTE
	ADJACENT BUILDING FORMS
	AREA TO BE STRIPED (PAINTED)
	BUILDING ABOVE
	EXTERIOR BOLLARD

- SIGHT TRIANGLE RESTRICTIONS**
- 10'x10' PEDESTRIAN SIGHT TRIANGLES - NO ITEMS THAT ARE WIDER THAN 18 INCHES MAY BE TALLER THAN 30" WITHIN THIS TRIANGLE.
 - 30'x30' CORNER SIGHT TRIANGLES - CORNER TRIANGLES MUST BE FREE OF ALL ITEMS OVER 30" IN HEIGHT EXCEPT FOR TRAFFIC CONTROL DEVICES AND EQUIPMENT.
 - ROADWAY SIGHT TRIANGLES - NO ITEMS THAT ARE WIDER THAN 18 INCHES MAY BE TALLER THAN 30" WITHIN THIS TRIANGLE EXCEPT FOR STREET TREES AND TRAFFIC CONTROL DEVICES AND EQUIPMENT.

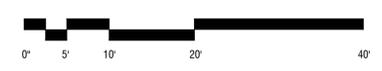
TREE PROTECTION ZONES

NO CONSTRUCTION ACCESS, ACTIVITY, OR STORAGE OF MATERIAL/DEBRIS/EQUIPMENT IS PERMITTED WITHIN TREE PROTECTION ZONES, INCLUDING GRADING, INSTALLATION OF UNDERGROUND UTILITIES, INSTALLATION OF SITE IMPROVEMENTS, AND/OR GRUBBING/LANDSCAPING. ALL CONSTRUCTION ACTIVITY MUST OCCUR OUTSIDE TREE PROTECTION ZONES (IE. DRIPLINES OF TREES)

SITE PLAN

1" = 10'-0"

SHOPWORKS
architecture
301 W. 45TH AVE • DENVER, CO 80216 • 303.433.4094



SITE PLAN
SHEET 3 OF 12

CHARITY'S HOUSE

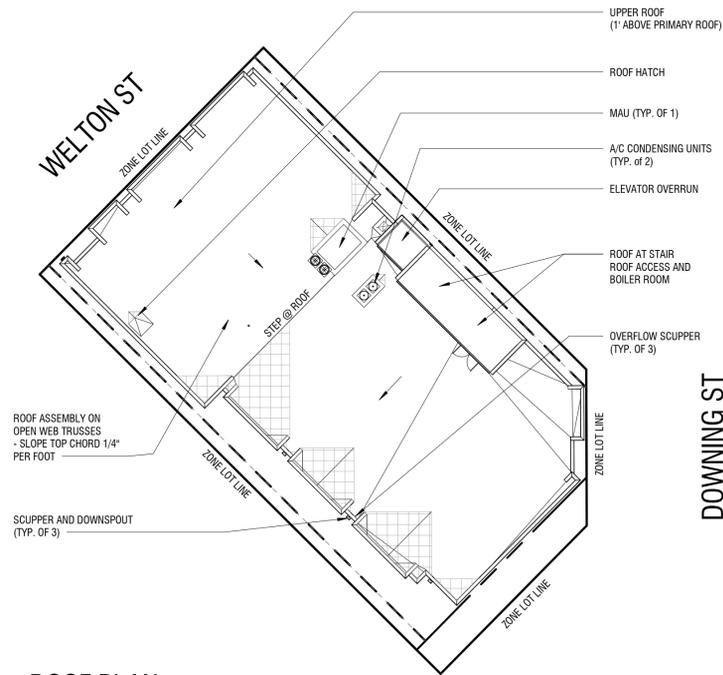
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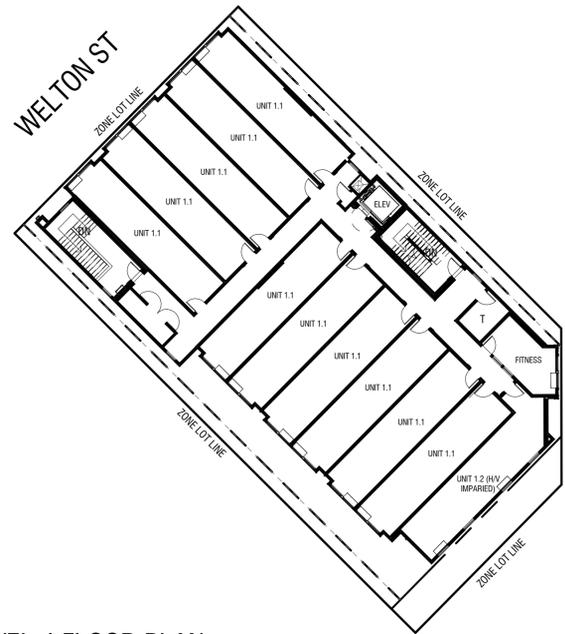
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TOTAL ROOF AREA = 6,880 SF
 TOTAL AREA OF ROOFTOP MECHANICAL AND UNOCCUPIED STAIR ENCLOSURES (33.3% MAX.) = 500 SF (8% OF TOTAL ROOF AREA)



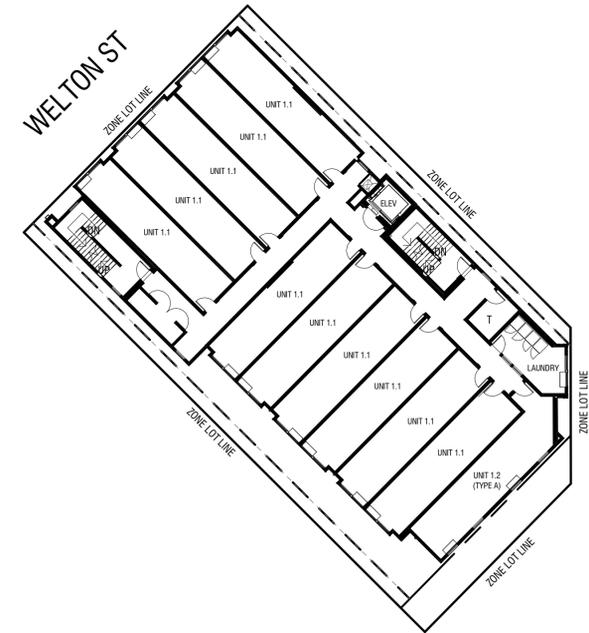
ROOF PLAN

1" = 20'-0"



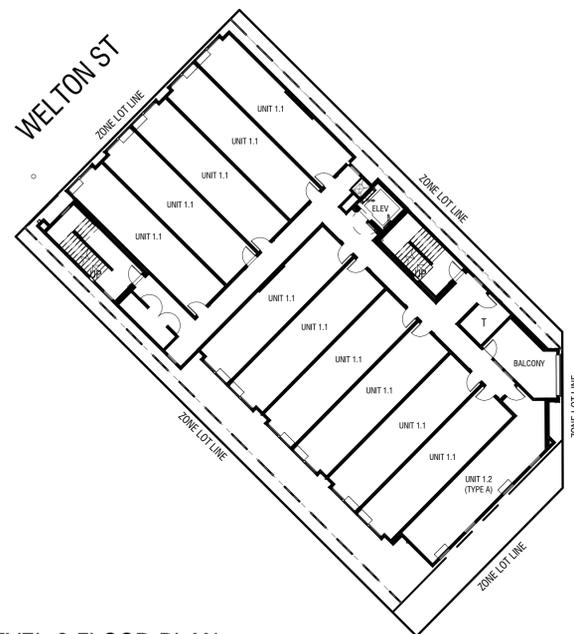
LEVEL 4 FLOOR PLAN

1" = 20'-0"



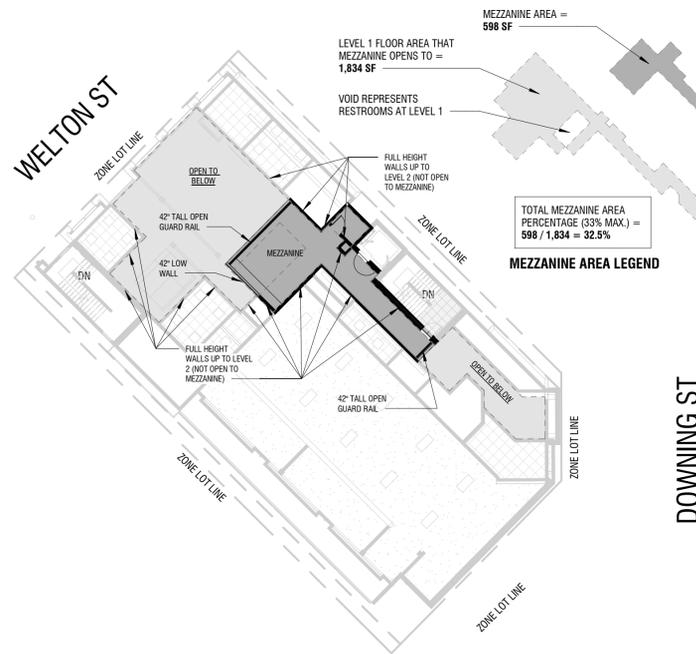
LEVEL 3 FLOOR PLAN

1" = 20'-0"



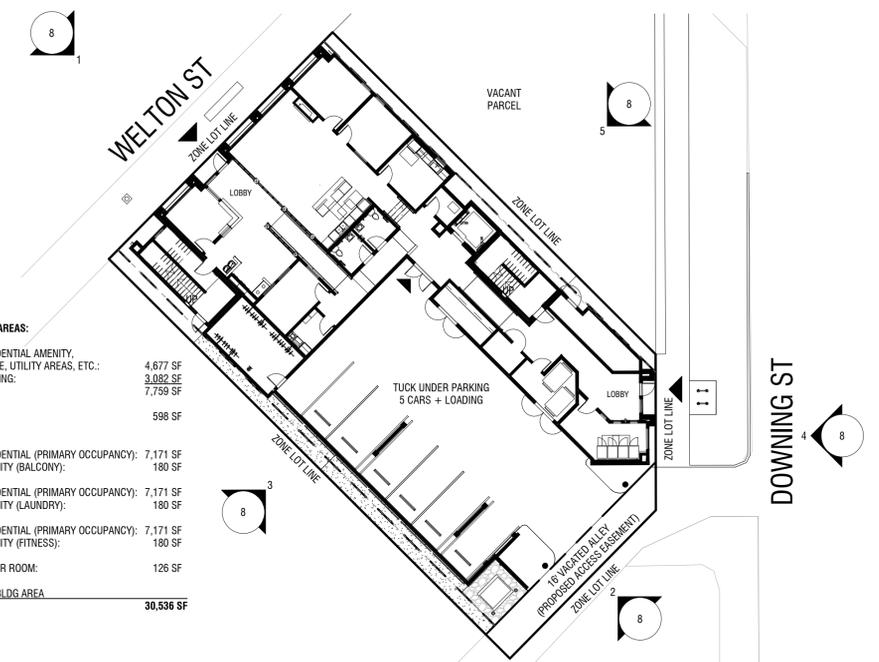
LEVEL 2 FLOOR PLAN

1" = 20'-0"



MEZZANINE

1" = 20'-0"



LEVEL 1 FLOOR PLAN

1" = 20'-0"

GROSS FLOOR AREAS:

LEVEL 1:	RESIDENTIAL AMENITY, OFFICE, UTILITY AREAS, ETC.:	4,677 SF
	PARKING:	3,082 SF
		7,759 SF
MEZZANINE:		598 SF
LEVEL 2:	RESIDENTIAL (PRIMARY OCCUPANCY):	7,171 SF
	AMENITY (BALCONY):	180 SF
LEVEL 3:	RESIDENTIAL (PRIMARY OCCUPANCY):	7,171 SF
	AMENITY (LAUNDRY):	180 SF
LEVEL 4:	RESIDENTIAL (PRIMARY OCCUPANCY):	7,171 SF
	AMENITY (FITNESS):	180 SF
ROOF:	BOILER ROOM:	126 SF
TOTAL GROSS BLDG AREA:		30,536 SF



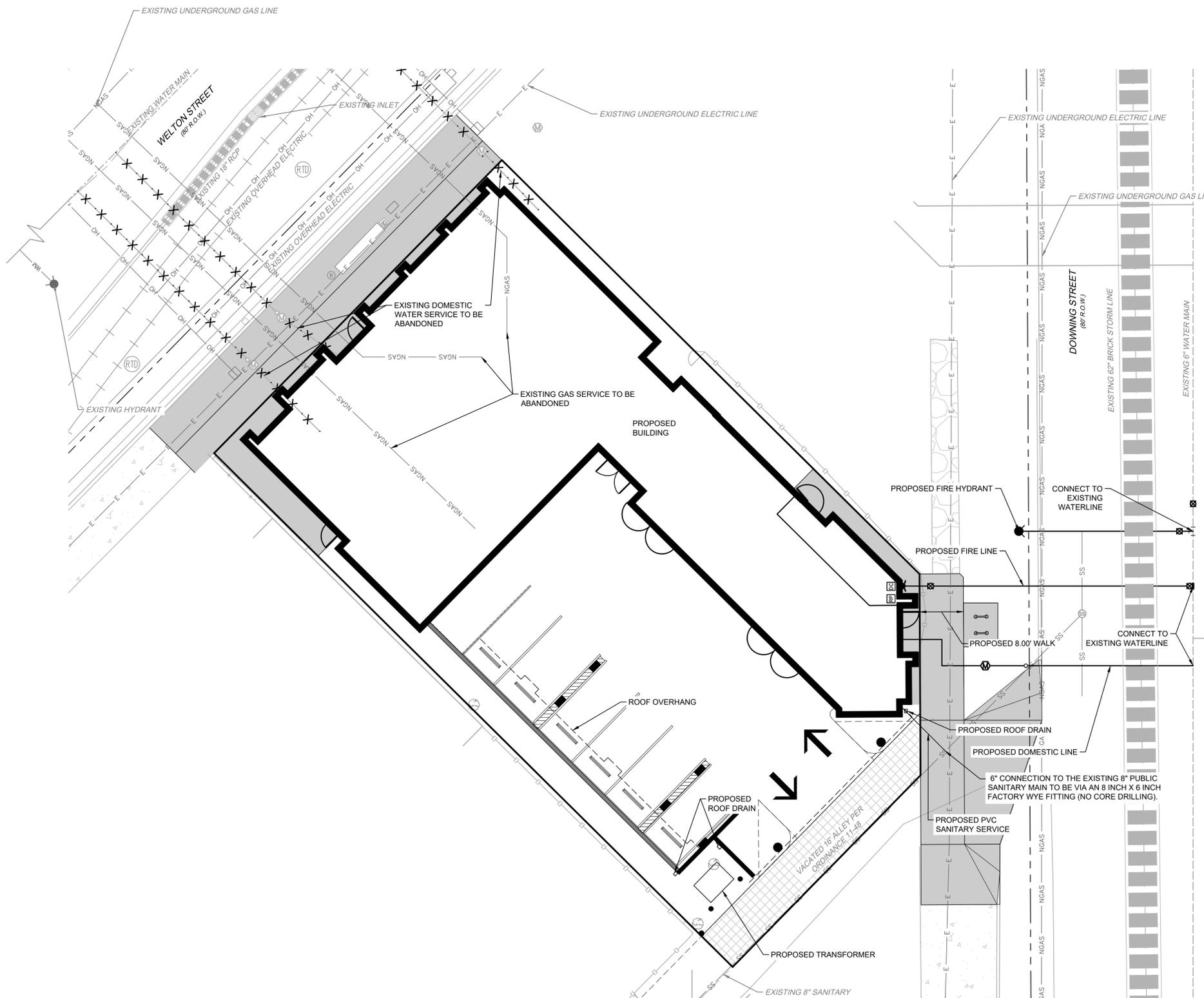
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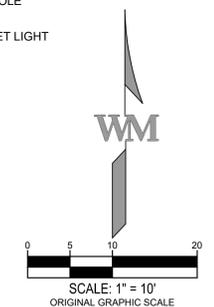
	PROPERTY LINE
	UTILITY CROSSING
	PROPOSED STORM LINE
	PROPOSED STORM INLET
	EXISTING STORM LINE
	EXISTING STORM INLET
	PROPOSED ELECTRIC LINE
	PROPOSED GAS LINE
	PROPOSED SANITARY SEWER W/ MANHOLE
	EXISTING SANITARY SEWER W/ MANHOLE
	PROPOSED WATERLINE & VALVE
	PROPOSED FIRE HYDRANT ASSEMBLY
	EXISTING WATERLINE & VALVE
	EXISTING FIRE HYDRANT
	EXISTING GAS LINE
	EXISTING TELEPHONE LINE
	EXISTING ELECTRIC LINE
	EXISTING CABLE TV LINE
	EXISTING OVERHEAD LINE
	EXISTING FIBER OPTIC LINE
	EXISTING IRRIGATION LINE
	PROPOSED FIRE DEPARTMENT CONNECTION
	PROPOSED LIGHT POLE
	EXISTING LIGHT POLE
	PROPOSED STREET LIGHT

FIRE FLOW DATA:

TOTAL FIRE FLOW REQUIRED FOR THIS SITE IS 1,750 GPM MINIMUM @ 20 PSI RESIDUAL PRESSURE.

THIS FLOW MUST BE PROVIDED FROM A MINIMUM OF 1 FIRE HYDRANTS INDIVIDUALLY. EACH FIRE HYDRANT MUST SUPPLY 1,500 GPM MINIMUM @ 20 PSI RESIDUAL PRESSURE.

CODE USED FOR ANALYSIS 2015 IFC WITH 2016 AMENDMENTS
CONSTRUCTION TYPE: VA
FIRE FLOW CALCULATION AREA: 37,787 S.F.
THIS BUILDING WILL BE SPRINKLERED



WATER NOTES:

1. EACH FIRE HYDRANT MUST SUPPLY 1500 GPM MINIMUM AT 20 PSI RESIDUAL PRESSURE.
2. WATER PLANS FOR THIS PROJECT MUST BE SUBMITTED TO DW FOR REVIEW APPROVAL SEPARATE OF THE DRC PROCESS.
3. AN APPROVED DW BACKFLOW PREVENTER IS REQUIRED FOR FIRELINES, COMMERCIAL, MULTI-FAMILY DWELLINGS AND IRRIGATION.
4. METER LOCATIONS MUST BE APPROVED BY DW.
5. DEVELOPER IS RESPONSIBLE FOR ALL NECESSARY SYSTEM MODIFICATIONS NEEDED TO MEET THE REQUIRED FIRE FLOWS.
6. ALL EXISTING TAPS ON THE SITE THAT ARE NOT USED MUST BE CUT-OFF AT THE MAIN AND INSPECTED BY DW. THIS WILL BE DONE AT THE DEVELOPER'S COST.
7. SYSTEM DEVELOPMENT VALVE FOR REPLACEMENT TAPS WILL BE GIVEN ACCORDING TO CURRENT OPERATING RULES.
8. IF A WATER EASEMENT IS REQUIRED ON A SITE, THIS EASEMENT WILL BE GRANTED TO DW BY SEPARATE DOCUMENT.
9. LANDSCAPING DEPICTED IN FUTURE WATER EASEMENTS MUST COMPLY WITH RESTRICTIONS CONTAINED WITHIN THE STANDARD WATER EASEMENT AGREEMENT.
10. EACH INDEPENDENT STRUCTURE MUST HAVE ITS OWN SEPARATE TAP, SERVICE LINE & METER.
11. SUB-METERING IS REQUIRED ON INDIVIDUAL MULTI-FAMILY UNITS AS MANDATED BY CITY ORDINANCE.
12. SOIL AMENDMENT IS REQUIRED ON ALL NEW WATER SERVICES. CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED WITHOUT A SOIL INSPECTION BY DW.
13. PRE-SUBMITTAL REVIEW IS REQUIRED PRIOR TO THE FORMAL WATER PLAN SUBMITTAL TO DW.

WARE MALCOMB
CIVIL ENGINEERING & SURVEYING
UTILITY PLAN
SHEET 5 OF 10

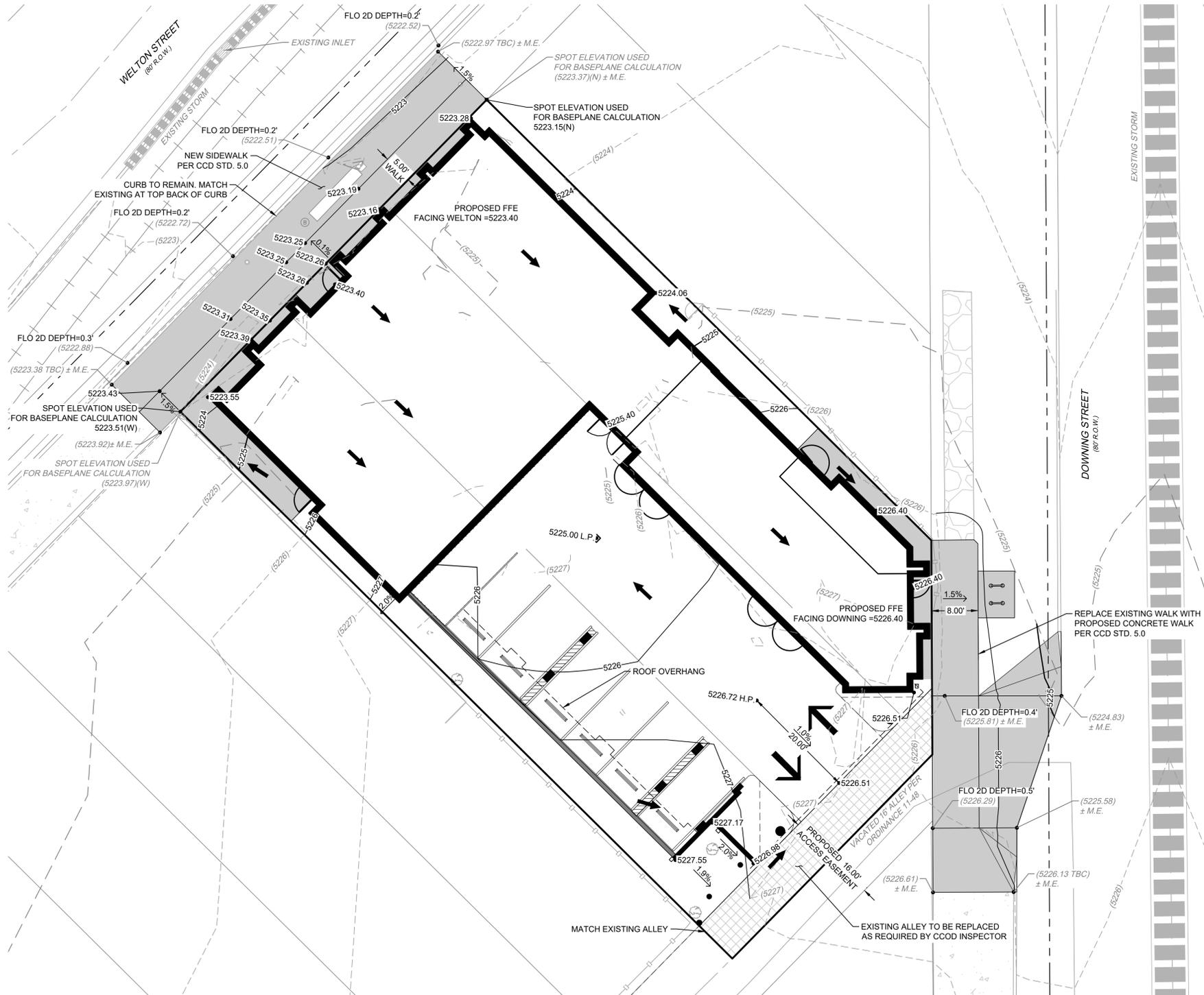
CHARITY'S HOUSE

SITE DEVELOPMENT PLAN (1ST MINOR MODIFICATION)

PART OF THE SOUTHWEST 1/4 OF SECTION 26, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH P.M.

CITY AND COUNTY OF DENVER, STATE OF COLORADO

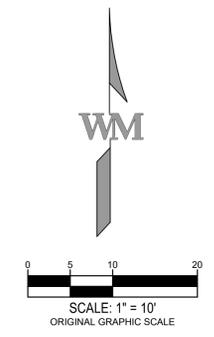
3022 WELTON STREET, DENVER, CO 80205



- LEGEND**
- PROPERTY LINE
 - PROPOSED 5' CONTOUR
 - PROPOSED 1' CONTOUR
 - EXISTING 5' CONTOUR
 - EXISTING 1' CONTOUR
 - PROPOSED STORM LINE
 - EXISTING STORM LINE
 - PROPOSED STORM INLET
 - EXISTING STORM INLET
 - PROPOSED SPOT ELEVATION (AT FLOWLINE UNLESS OTHERWISE INDICATED)
 - PROPOSED SLOPE AND DIRECTION
 - EXISTING ELEVATION
 - FLOW ARROW
 - SIDEWALK EASEMENT
 - PROPOSED SIDEWALK
 - PROPOSED ASPHALT
 - MATCH EXISTING
 - 2X100 YEAR STORM DEPTH AT LOCATION

BASE PLANE CALCULATION:

Corner	N	W	Proposed Average =	5223.50
Proposed	5223	5224	Existing Average =	5223.50
Existing	5223	5224		



GRADING PLAN

SHEET 6 OF 10

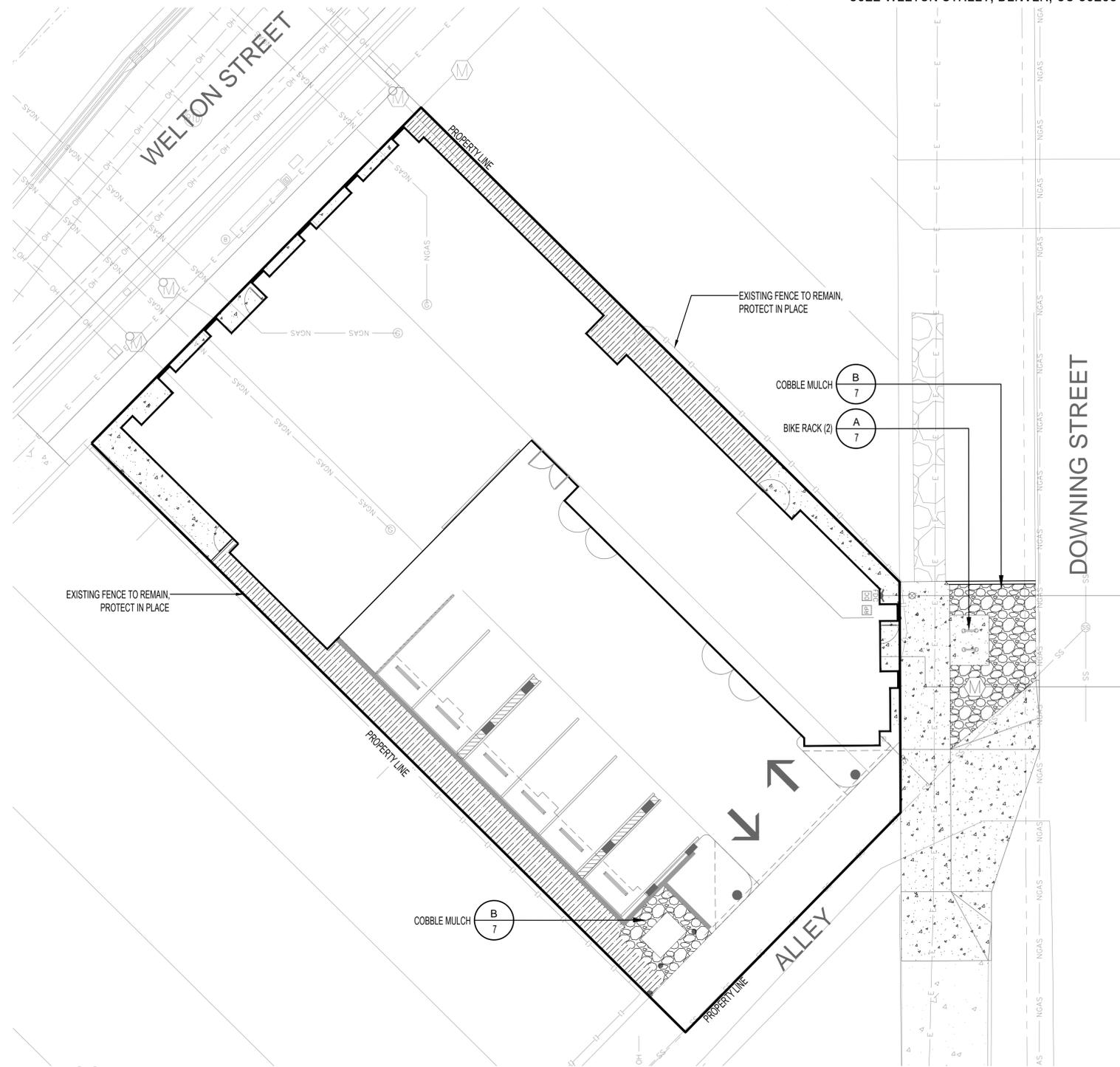
CHARITY'S HOUSE

SITE DEVELOPMENT PLAN (1ST MINOR MODIFICATION)

PART OF THE SOUTHWEST 1/4 OF SECTION 26, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH P.M.

CITY AND COUNTY OF DENVER, STATE OF COLORADO

3022 WELTON STREET, DENVER, CO 80205

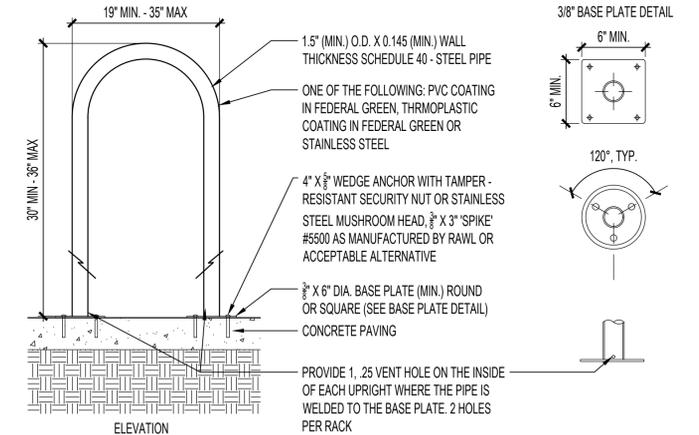


LANDSCAPE LEGEND

- NEW CONCRETE
- COBBLE MULCH
- PEA GRAVEL MULCH
- BIKE RACKS

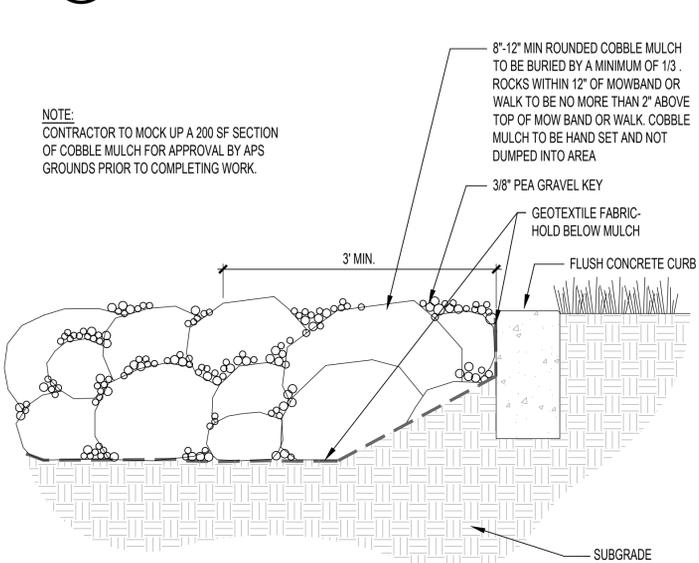
Office of the City Forester (OCF) Standard General Plan Notes:

1. EXISTING TREES REQUIRED TO BE PRESERVED IN ROW AND/OR PUBLIC PLACE SHALL BE PROTECTED PER OCF STANDARDS AND PRACTICES. TREE PROTECTION SHALL BE INSTALLED PRIOR TO ISSUE OF DEMOLITION/BUILDING PERMIT, APPROVED BY THE OCF, AND SHALL REMAIN AS APPROVED THROUGHOUT CONSTRUCTION. NO ACCESS, CONSTRUCTION ACTIVITIES OR STORAGE OF CONSTRUCTION MATERIALS/DEBRIS/EQUIPMENT SHALL TAKE PLACE WITHIN TREE PROTECTION ZONES WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE OCF.
2. PER CITY CODE, ALL TREE REMOVALS IN CITY/COUNTY OF DENVER MUST BE PERFORMED BY THE PROPERTY OWNER OR A TREE CONTRACTOR LICENSED BY OCF, INCLUDING TREES IN ROW, PUBLIC PLACE AND PRIVATE PROPERTY. FOR A CURRENT LIST OF LICENSED TREE CONTRACTORS, VISIT WWW.DENVERGOV.ORG/FORESTRY.
- 2.1. OCF-APPROVED TREE REMOVALS IN ROW OR PUBLIC PLACE;
 - 2.1.1. A TREE REMOVAL PERMIT ISSUED BY THE OCF IS REQUIRED PRIOR TO REMOVAL. TREE REMOVAL PERMITS ARE NOT INCLUDED WITH BUILDING PERMITS OR PLAN APPROVALS AND MUST BE OBTAINED SEPARATELY FROM THE OCF. CONTACT THE OCF (FORESTRY@DENVERGOV.ORG) WITH NAME OF LICENSED CONTRACTOR OR PROPERTY OWNER PERFORMING REMOVAL. INCLUDE PROJECT NUMBER (2018PM0000684) AND PROJECT ADDRESS.
 - 2.1.2. EXISTING ROW OR PUBLIC PLACE TREES APPROVED FOR REMOVAL BY THE OCF MUST BE PROTECTED IN PLACE UNTIL REMOVED BY AN OCF LICENSED TREE CONTRACTOR. FAILURE TO PROTECT SUCH TREES UNTIL REMOVAL, OR REMOVING TREES WITHOUT A PERMIT, WILL RESULT IN A NOTICE OF VIOLATION AND/OR CITATIONS/FINES.
 - 2.1.3. A TREE REMOVAL PERMIT IS NOT REQUIRED FOR PRIVATE PROPERTY TREE REMOVALS.
3. ALL PROPOSED LANDSCAPING IN THE ROW SHALL BE PER THE STREETSCAPE DESIGN MANUAL WITH THE EXCEPTION OF TREE PLANTING. THIS SHALL BE IN ACCORDANCE WITH CURRENT OCF RULES AND REGULATIONS.
4. ALL ELECTRIC FIXTURES AND UTILITIES, INCLUDING BUT NOT LIMITED TO OUTLETS AND LIGHTS, SHALL BE LOCATED AT OUTSIDE PERIMETER OF TREE PLANTING AREAS WITHIN HARDSCAPE. IN TREE LAWNS, FIXTURES SHALL BE PLACED MINIMUM 3 (THREE) FEET RADIALLY FROM BASE OF TRUNK.



- NOTES:
1. RACK SHALL NOT BE WELDED IN SECTIONS.
 2. BASE PLATE SHALL BE WELDED TO STEEL PIPE.
 3. RACK DIMENSIONS MAY VARY BY MANUFACTURER.
- MOUNTING (CONCRETE):
1. BASE PLATE SHALL BE MOUNTED TO CONCRETE VIA EXPANSION ANCHOR: 4" X 3/8" WEDGE ANCHOR WITH TAMPER-RESISTANT SECURITY NUT, OR STAINLESS STEEL MUSHROOM HEAD 3/8" X 3" SPIKE #5500 AS MANUFACTURED BY RAWL OR APPROVED EQUAL
 2. RACK SHALL BE SET FIRM AND ALIGNED WITH A TOLERANCE PLUS OR MINUS 3/8" FROM PLUMB
 3. STEEL SHIMS SHALL BE INSTALLED PRIOR TO ANCHORING IN PLACE WHEN NEEDED.

A U STYLE BIKE RACK (CCD STD DETAIL 16.2.15)



B COBBLE MULCH

LANDSCAPE PLAN
SCALE 1"=10'-0"

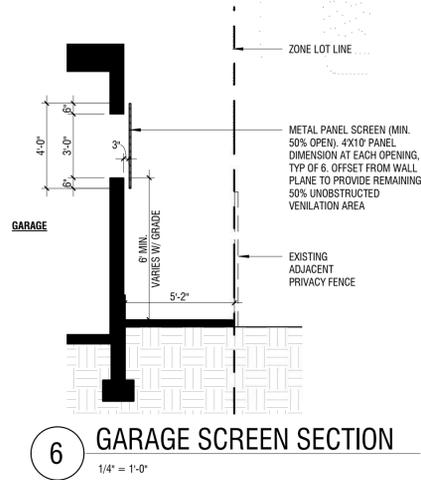


LANDSCAPE PLAN
SHEET 7 OF 10

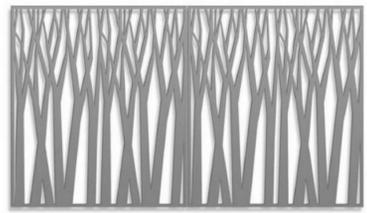
CHARITY'S HOUSE

SITE DEVELOPMENT PLAN (1ST MINOR MODIFICATION)

PART OF THE SOUTHWEST 1/4 OF SECTION 26, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH P.M.
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6 GARAGE SCREEN SECTION
1/4" = 1'-0"



METAL PANEL EXAMPLE
(FINAL PATTERN SELECTION MAY DIFFER)

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EXTERIOR FINISHES LEGEND	
8" JAMES HARDIE HARDIEPLANK LAP SIDING COLOR: SW 7611 PARAKEET	
6" JAMES HARDIE HARDIEPLANK LAP SIDING COLOR: SW 7738 CARGO PANTS	
3-COAT STUCCO SYSTEM COLOR: SW 7102 WHITE FLOUR	
3-COAT STUCCO SYSTEM COLOR: SW 6412 EMINENT BRONZE	
BRICK VENEER, RUNNING BOND PATTERN COLOR: DARK BUFF	
BRICK ACCENT INSET, SOLDIER COURSE, ROWLOCK COLOR: GRAPHITE	

GROUND STORY ACTIVATION		TRANSPARENCY	
PRIMARY STREET = WELTON ST.	REQUIRED	PROVIDED	
TOTAL TRANSPARENCY	40%	55%	
BUILDING LENGTH		66.8 LF	
CLEAR GLAZING	27 LF	37 LF	
ALTERNATIVES	= N/A		

GROUND STORY ACTIVATION		TRANSPARENCY	
PRIMARY STREET = DOWNING ST.	REQUIRED	PROVIDED	
TOTAL TRANSPARENCY	40%	45%	
BUILDING LENGTH		25.3 LF	
CLEAR GLAZING	10 LF	11.5 LF	
ALTERNATIVES	= N/A		

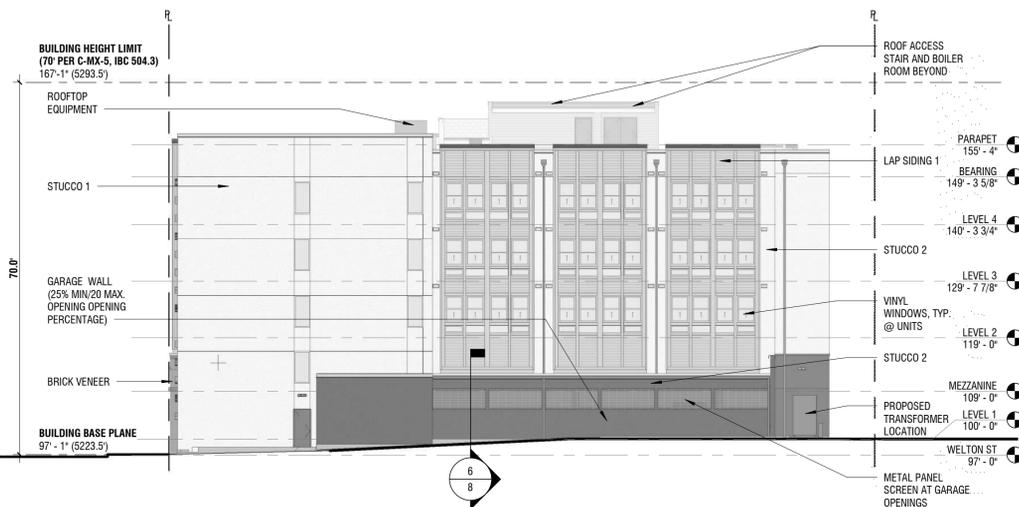
BASE PLANE CALCULATION	
KEY PLAN	PRIMARY STREET = WELTON ST. & DOWNING ST.
	SIDE STREET = N/A
	BUILDING BASE PLANE = 5,225'
	$A = 5,224' +$
	$B = 5,223'$
	$\frac{10,447'}{2} = 5,223.5'$
	PER 13.1.3.2.A (SINGLE BASE PLANE)



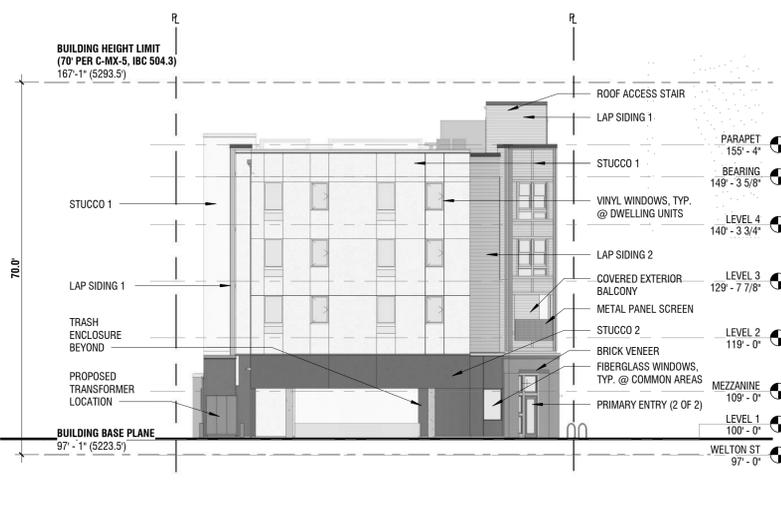
5 NORTHEAST ELEVATION (SIDE INTERIOR)
1/16" = 1'-0"



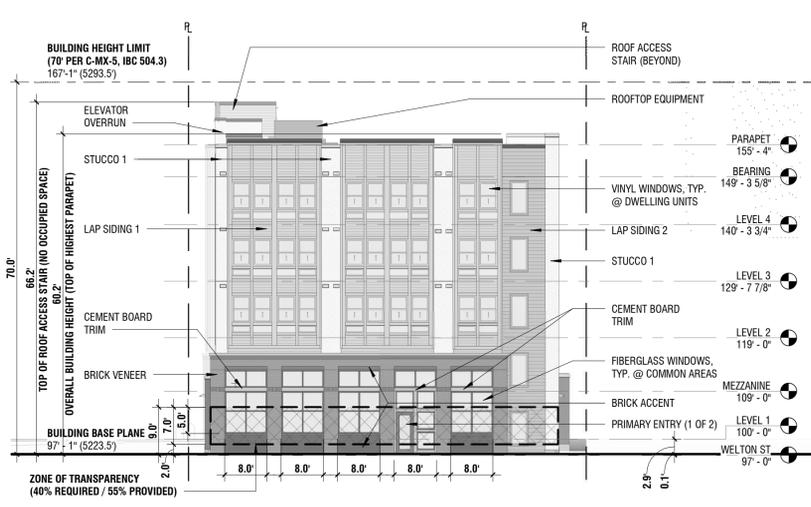
4 EAST ELEVATION - DOWNING ST. (PRIMARY STREET)
1/16" = 1'-0"



3 SOUTHWEST ELEVATION (SIDE INTERIOR)
1/16" = 1'-0"



2 SOUTHEAST ELEVATION - PARKING ENTRANCE (ACCESS EASEMENT)
1/16" = 1'-0"



1 NORTHWEST ELEVATION - WELTON ST. (PRIMARY STREET)
1/16" = 1'-0"

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GENERAL NOTES

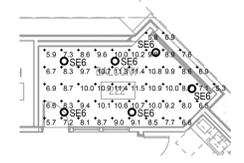
1. ANY PROPOSED LIGHT FIXTURES INSTALLED ON PRIVATE PROPERTY, ADJACENT TO THE PUBLIC ROW, SHALL BE ORIENTED IN SUCH A MANNER OR LIMITED IN LUMEN OUTPUT TO PREVENT GLARE PROBLEMS AND SHALL NOT EXCEED NATIONAL I.E.S. LIGHTING STANDARDS FOR DISABILITY GLARE.
2. EXTERIOR LIGHTING FIXTURES SHALL BE DIMMED AS REQUIRED TO MEET 8 FOOT CANDLE LIMIT PER CITY OF DENVER LIGHTING ORDINANCE.

Symbol	Label	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Lumens Per Lamp	LLF	Watt
	PG1	HE WILLIAMS	EGL2 4 L107 8 50 H1A LA40 DIM	CEILING MOUNTED LINEAR LED PARKING GARAGE LUMINAIRE	LED 5000K	1	10000	1	73
	PG2	MCGRAW EDISON	TT C6 LED E1 CQ	ROUND CEILING MOUNT LED PARKING GARAGE FIXTURE	LED 5000K	1	11000	.25	108
	SE1	WAC LIGHTING	DS-WS05-F930S-WT	WALL MOUNTED 5" CYLINDER DOWNLIGHT LED, MOUNTED 7'-6" AFG	LED 3000K	1	1971	0.6	25
	SE3	LSI INDUSTRIES, INC	LCD4_LAD4_LAD4R-LED-14L-30-FL--TR4R-SF-HAZ	4" APERTURE RECESSED DOWNLIGHT, LED, DAMP LISTED	LED 3000K	1	1131	0.8	14
	SE4	WAC Lighting	WL-LED101F-30-WT	FULL CUT OFF STEP LIGHT, LED MOUNTED 2'-0" AFG	LED 3000K	1	85	1	5
	SE5	LSI INDUSTRIES	XGBWM3-WT-LED-28-350-NW-UE	WALL MOUNTED AREA LIGHT LED MOUNTED 10'-0" AFG	LED 4000K	1	2791	1	34
	SE6	SIGNIFY	S7R830K10	7" APERTURE SHALLOW SURFACE MOUNT LED	LED 3000K	1	977	1	14



Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
PARKING	+	30.4 fc	54.8 fc	3.4 fc	16.1:1	8.9:1
SITE	+	2.3 fc	7.8 fc	0.0 fc	N/A	N/A

1 SITE PHOTOMETRIC PLAN
E-12 1" = 10'-0"



2 LEVEL 2 BALCONY
E-12 1" = 10'-0"

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	8.8 fc	11.5 fc	5.3 fc	2.2:1	1.7:1



SITE PHOTOMETRIC PLAN SHEET 9 OF 10

